

Planning Committee

**Wednesday 4 December 2019 at 5.00pm
in the Council Chamber,
at the Sandwell Council House, Freeth Street, Oldbury.**

Agenda

(Open to Public and Press)

1. Apologies for absence.
2. Members to declare any interest in matters to be discussed at the meeting.
3. To confirm the minutes of the meeting held on 6 November 2019 as a correct record.

Matters Delegated to the Committee

Items for Decision

4. To consider whether site visits are necessary and relevant to the determination of any planning applications.
5. Planning Application DC/19/63297 - Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works. Land adjacent Asda, Wolverhampton Road, Oldbury.
6. Planning Application DC/19/63392 - Proposed 20 No. dwellings. Former Resource Centre, Lowry Close, Smethwick.

7. Planning Application DC/19/63417 - Retention of pergola at rear. Wood Green Nursing Home, 27 Wood Green Road, Wednesbury.
8. Planning Application DC/19/63465 - Proposed two storey side/rear extension to form staff living accommodation. 1 Ray Hall Lane, Great Barr, Birmingham.
9. Planning Application DC/19/63514 - Proposed first floor side extension. 26 Heather Road, Smethwick.
10. Planning Application DC/19/63520 - Proposed garage in rear garden. 77 Hill Top, West Bromwich.
11. Planning Application DC/19/63521 - Proposed part change of use from a garage to a barbers shop. 92 St Pauls Road, Smethwick.
12. Planning Application DC/19/63546 - Proposed 2 no. 4 bed and 4 no. 3 bed properties with associated car parking. Land Adjacent 8A Castle Road West, Oldbury.
13. Planning Application DC/19/63633 - Proposed 4 No. additional fourth floor flats to 5 No. existing blocks with a new pitched roof, two main entrance extensions and lift, new car parking area and accessible pathways. Proposed new pitched roof, new shop fronts, roller shutters, front canopies and re-cladding of existing Lion Farm shops and flats. Coniston, Derwent, Rydal, Ullswater & Windermere Houses, Badsey Road & Lion Farm Shops and Flats, Hartlebury Road, Oldbury.
14. Applications determined under powers delegated to the Director – Regeneration and Growth.
15. Decisions of the Planning Inspectorate.

Date of Next Meeting: **Tuesday 17 December, 2019 (special meeting).**

David Stevens
Interim Chief Executive
Sandwell Council House
Freeth Street
Oldbury
West Midlands

Distribution: –

Councillor Downing (Chair);
Councillor Hevican (Vice-Chair)
Councillors Ahmed, Allen, Chidley, S Davies, Dhallu, G Gill, P M
Hughes, M Hussain, Mabena, Millar, Rouf, Simms and Trow and
vacancy.

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Minutes of the Planning Committee

6 November 2019 at 5.00 pm
at the Sandwell Council House, Oldbury

Present: Councillor Downing (Chair);
Councillor Hevican (Vice-Chair);
Councillors Ahmed, Allen, Chidley, Dhallu, M
Hussain, Mabena, Millar, Rouf, Simms and
Trow.

Apologies: Councillors S Davies and P M Hughes.

91/19 **Declaration of Interests**

Councillor Allen declared a personal interest in planning application DC/19/63571 (Proposed single/two storey side extensions and single storey rear extension. 86 Barncroft Road, Oldbury B69 1TU) in that the applicant was related to his partner Councillor Maria Crompton.

Councillor Simms declared a personal interest in planning application DC/19/63417 (Retention of pergola at rear. Wood Green Nursing Home. 27 Wood Green Road, Wednesbury WS10 9AX) in that she shared surgeries with Councillor Costigan, who had been lobbied by objectors.

92/19 **Minutes**

Resolved that the minutes of the meeting held on 2nd October 2019 be approved as a correct record, subject to amendment of minute no. 87/19, planning application DC/19/63297 (Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works. Land Adjacent to Asda, Wolverhampton Road, Oldbury) being amended to state that the application had been deferred pending the receipt of further information from the applicant.

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93/19

Applications Deferred Pending a Site Visit by Members of the Committee and Ward Representatives

Resolved that consideration of the following planning applications be deferred, pending a site visit by the Committee and ward representatives:-

DC/19/63392 (Proposed 20 No. dwellings. Former Resource Centre Lowry Close, Smethwick);

DC/19/63521(Proposed part of change of use from a garage to a barber's shop. 92 St Pauls Road, Smethwick B66 1EY);

DC/19/63417 (Retention of pergola at rear. Wood Green Nursing Home. 27 Wood Green Road, Wednesbury WS10 9AX).

94/19

Planning Application DC/19/63297 (Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works. Land Adjacent to Asda, Wolverhampton Road, Oldbury)

The Service Manager - Development Planning and Building Consultancy advised the Committee additional information had not been received.

Resolved that consideration of planning application DC/19/63297 (Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works. Land Adjacent to Asda, Wolverhampton Road, Oldbury) be deferred pending the receipt of additional information.

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95/19 **DC/19/63360 (Retention of outbuilding to rear. 29 Izens Road, West Bromwich B70 8GP)**

The Service Manager – Development Planning and Building Consultancy presented a revised plan of the planning application, to show the location of the outbuilding.

No objectors were present.

The applicant was present and addressed the Committee with the following points:-

- The purpose for the building was storage only and not used as a living space.
- The location of the building was next to an alleyway and so it would not cause any loss of privacy to neighbours.

The Committee was minded to approve the planning application, subject to the conditions recommended by the Director – Regeneration and Growth.

Resolved that planning application DC/19/63360 (Retention of outbuilding to rear. 29 Izens Road, West Bromwich B70 8GP) be approved, subject to the conditions recommended by the Director – Regeneration and Growth.

96/19 **DC/19/63389 (Proposed self-contained annex at rear. 112 Birmingham Road, Great Barr B43 7AE)**

The Service Manager – Development Planning and Building Consultancy presented a plan showing the location of the proposed annex and also reported that a further letter of objection had been received, however the points raised were already addressed in the report.

No objectors were present.

The applicant's agent was present and addressed the Committee with the following points:-

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- The proposed building would be used as a granny annex.
- Alterations had been made following advice from planning and the proposal was in accordance with the Council's residential design guidelines.
- The proposal would be no bigger than a typical garden outhouse.

The Committee was minded to approve the planning application, subject to the conditions recommended by the Director – Regeneration and Growth.

Resolved that the planning application DC/19/63389 (Proposed self-contained annex at rear. 112 Birmingham Road, Great Barr B43 7AE) be approved subject to the conditions now recommended by the Director – Regeneration and Growth.

97/19

DC/19/63482 (Proposed single storey rear extension, two storey side extension, single and two storey front extension with porch, and loft conversion with dormers to rear. 65 Lightwoods Hill, Smethwick B67 5EA)

The Service Manager - Development Planning and Building Consultancy reported that further objections had been received from the neighbour. The application used previously had been edited to satisfy the neighbour's objections and planning officers was satisfied with the proposal.

There was no objector present.

The applicant's agent was present and addressed the Committee with the following points:-

- Discussions with planning officers had taken place before the application and all amendments recognised were completed.
- Had addressed objections points.
- The posture of the window in relation to the neighbouring properties had been clarified.

The Committee was minded to approve the planning application, subject to the conditions recommended by the Director – Regeneration and Growth.

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Resolved that the planning application DC/19/63482 (Proposed single storey rear extension, two storey side extension, single and two storey front extension with porch, and loft conversion with dormers to rear. 65 Lightwood Hill, Smethwick B67 5EA) be approved, subject to the conditions recommended by the Director – Regeneration and Growth.

98/19 **DC/19/63571 (Proposed single/two storey side extensions and single storey rear extension. 89 Brancroft Road, Oldbury B69 1TU)**

The Service Manager - Development Planning and Building Consultancy stated the application had been brought to Planning Committee as the applicant was related to Councillor Maria Crompton.

No object or applicant was present.

Resolved that the planning application DC/19/63571 (Proposed single/two storey side extensions and single storey rear extension. 89 Brancroft Road, Oldbury B69 1TU) be approved, subject to the approval of external materials.

(Councillor Allen declared a personal and prejudicial interest in the application and left the room during its consideration.)

99/19 **Applications Determined Under Delegated Powers by the Director – Regeneration and Growth**

The Committee received a report for information on planning applications determined by the Director - Regeneration and Growth under delegated powers.

100/19 **Decisions of the Planning Inspectorate**

The Committee noted that the Planning Inspectorate had made decisions on appeals as set out below:-

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Appeal under section 78 of the Town and Country Planning Act 1990:

Application

DC/19/62886 (Baby Einsteins Nursery,
Great Bridge Street, West Bromwich B70
0DE)

Decision


Dismissed

(The meeting ended at 5.41pm)

*Contact Officer: Stephnie Hancock
Democratic Services Unit
0121 569 3189*

REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63297
Application Received	10 th July 2019
Application Description	Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works
Application Address	Land Adj To Asda Wolverhampton Road Oldbury
Applicant	Canmoor (Oldbury) Ltd C/o Agent Michael Sparks Associates Units 11 And 12 Plato Place 72-74 St Dionis Road London SW6 4TU
Ward	Langley
Contribution towards Vision 2030:	
Contact Officer(s)	Alison Bishop 0121 569 4039 alison_bishop@sandwell.gov.uk

RECOMMENDATION

That planning permission be refused on grounds that:-

- i) The proposal would give rise to severe highway safety issues due to insufficient information being provided in relation to traffic generation and insufficient parking within the site and the proposed pedestrian/cycle route would not provide appropriate sustainable travel opportunities to access the site and is therefore contrary to TRAN 2 Managing Transport Impacts of New Development;

- ii) The proposal would result in harm to residential property by virtue of loss of outlook due to the proximity, mass and height of the buildings having an overbearing effect on the nearest residential properties and being contrary to Policies ENV3 Design Quality and SAD EMP 4 Relationship between Industry and Sensitive Uses EOS9 Urban Design Principles.
- iii) The proposal footpath link would have a detrimental effect on the amenities of the adjoining property 131 Titford Road by virtue of noise and disturbance due to the proximity of the footpath to their property.

1. BACKGROUND

- 1.1 This application is being reported to your Planning Committee because the proposal has generated a high volume of objections.
- 1.2 Members visited in October, however the application was subsequently deferred due to further assessments being required and subsequent consultation with statutory consultees. Final submissions and consultation responses have been received which now enables a full report and recommendation to be made to your committee.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The Site is allocated for employment land and forms part of a wildlife corridor.
- 2.2 The material planning considerations which are relevant to this application are:

Government policy (NPPF)
Proposals in the Local Plan
Overlooking/loss of privacy
Loss of light and/or outlook
Overbearing nature of proposal
Design, appearance and materials
Access, highway safety, parking and servicing
Traffic generation
Noise and disturbance from the scheme
Air quality/pollution
Nature conservation and loss of ecological habitats
Flood risk
Safety and security

3. The APPLICATION SITE

- 3.1 The application site relates to land between Asda, adjacent to junction 2 of the M5, and the west of Titford Road, Oldbury.
- 3.2 The residential properties on Titford Road back directly onto the site which presently is a private green space which contains a number of self setting trees and shrubs. A water course also runs through the site along the north and western boundary.

4. PLANNING HISTORY

- 4.2 The site is situated on undeveloped land which was historically used as allotment gardens. Whilst there has been a subsequent application for additional car parking to serve the existing Asda store, this was refused in 2004 and no further applications have been received.

- 4.3 Relevant planning applications are as follows:-

DC/03/41246	Proposed additional car parking	Refused 29.09.2004
DC/20712	Change of use to car parking in connection with U.K. Car Auction business.	Approved with Conditions 17.11.1986

5. APPLICATION DETAILS

- 5.1 The applicant proposes to construct two industrial units which would be marketed for Light Industry (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8). Access would be gained from the roundabout serving Asda and Junction 2 (M5). The units would be situated adjacent to the boundary with the gardens of Titford Road being between 5 metres and 10 metres from this boundary. Trees would be retained and further tree planning would be incorporated along this boundary. The units would measure 76 metres (W) by 45 metres (L) by 11 metres (H) (Unit 1) and 57 metres (W) by 45 metres (L) by 11 metres (H) (Unit 2). Ancillary offices would be attached to each unit with associated servicing beyond to include HGV parking and 62 car parking spaces. It should however be noted that a parking layout have also been provided to showing a maximum of 163 spaces.

The proposal is accompanied by a Planning Statement, Design and Access Statement, Tree Survey, Ecology appraisals, a Transport Statement, Travel Plan, Air Quality Assessment, Noise Assessment and Environmental Impact Assessments.

- 5.2 The Planning Statement refers to national policy which encourages sustainable development comprising creating a strong economy, achieving strong, vibrant and healthy communities and protecting and enhancing the natural and built environment. Further clarification is provided within Black Country Core Strategy which identifies targets for delivering land and jobs for industrial and warehousing in the Black Country by 2026. The statement also refers to the site being allocated as employment land with the Sandwell's Site Allocation and Delivery Plan Document (SAD EMP1) and considers that this site provides an opportunity for job creation within an existing transport network and that harmful impacts can be mitigated through the layout, namely providing a buffer to the River Tame and retention and introduction of additional planting to include trees.
- 5.3 The Design and Access Statement illustrates that the orientation of the building has been designed with the service yard away from nearby residential properties to screen noise with the retention and increase of trees to form a landscape buffer. In addition, the building's location provides an office element to introduce interest and natural surveillance together with adequate areas for car parking, servicing and manoeuvring.
- 5.4 The preliminary ecological survey was undertaken in July 2018 and notes that the site is not covered by any statutory or non statutory wildlife designations but is identified as a Potential Site of Importance. The survey found that the site was dominated by habitats which were of low ecological value. Recommendations within the report included a 5 metre buffer to the River Tame, minimal light spillage to the River Tame and that site clearance should take place under the supervision of an ecologist and outside the bird nesting season. In addition, should any hidden badger setts be encountered, these should be closed under of Natural England licence.
- 5.5 The Transport Statement states that the site provides appropriate provision for car and cycle parking and is well served by a good network of pedestrian, cycle and public transport links. Furthermore the proposal will not impede the free flow of traffic and a Travel Plan has been produced to encourage sustainable travel patterns.
- 5.6 The Air Quality Assessment has predicted a minor to major adverse impact during construction activities, however during construction of the development, mitigation measures such as a construction management plan are recommended. On implementation of the scheme, it is stated that the additional vehicle movements would not cause a significant impact on local air quality.
- 5.7 Noise Impact has been assessed against the proximity of the residential properties to the south east on Titford Road and the School to the north

east and the surveys have indicated that the noise levels fall below those deemed to be adverse under relevant guidance, Other mitigation referred to a noise barrier along the south west boundary of the service yard area.

- 5.8 Flood Risk and Drainage has been considered and the drainage strategy incorporates porous pavements to the parking areas along with attenuation tanks to mitigate surface water flooding.
- 5.9 A tree survey has been undertaken, mindful of the wildlife corridor designation, existing vegetation would be retained where possible, together with replacement of removed trees and additional planting (163 trees in total) in order to enhance biodiversity.

6. PUBLICITY

- 6.1 The application has generated a large number of objections, firstly 47 individual letters have been received along with an online petition which includes 20,545 signatures. A folder containing all the campaigning and responses from residents which was submitted by the head petitioner has been attached to this report. In addition, following the further consultation three further objections have been received. Any further objections will be reported to your meeting.

6.2 Objections

Objections have been received on the following grounds:-

- (i) Flooding Issues – historic flooding occurs to the gardens and basements of properties on Titford Road and this proposal will exacerbate matters.
- (ii) Loss of Wildlife and destruction of the wildlife corridor, the primary school utilises the area for valuable forestry lessons. The surveys do not reflect the presence of bats, birds, foxes, reptiles and other species on the site.
- (iii) Increase in traffic.
- (iv) Loss of privacy/light and outlook due to the site levels, proximity and height of the building.
- (v) Litter.
- (vi) Noise from traffic and the activities associated with the warehouses (24/7 operation) given that Birchley Island and the nearby streets are already congested. Currently the wildlife corridor acts as a buffer to the noise from Asda and the M5 Motorway.
- (vii) Traffic flow will be impeded as the Asda island is small and this could result in congestion and impeding the exit for the Fire Station.
- (viii) Vibration from the proposed use, already experience works associated with Asda.

- (ix) Air Quality/pollution will increase due to the loss of greenery and increase in traffic – impacting on residents and the school.
- (x) Poor design.
- (xi) Out of character with surrounding area.
- (xii) Work commenced on site clearance without permission which has destroyed part of the wildlife habitat.
- (xiii) Other vacant industrial site should be considered rather than building on this green space.
- (xiv) Antisocial Behaviour/security of residential properties.
- (xv) The revised footpath link will have detrimental effect on the immediate bungalow resulting in noise from users walking directly past their kitchen window and making them vulnerable to vandalism;
- (xvi) The revised footpath could introduce anti-social behaviour along with an increase noise and loitering, incidents of drug dealing have occurred previously taking place.

The effect on property values and boundary issues are not material planning considerations

6.3 Responses to objections

I respond to the objector's comments in turn;

- (i) Flooding Issues – Whilst it is recognised that properties suffer from historic flooding, the proposal included a flood risk assessment and drainage strategy which both the Environment Agency and the Lead Local Flood Authority have confirmed will ensure that flooding is not exacerbated in the area. Therefore surface water run off from the site can be conditioned and flooding will not be affected as the scheme provides an 8 metre buffer from the water course.
- (ii) Loss of Wildlife and destruction of the wildlife corridor – The site is currently not designated but does form part of a wildlife corridor, albeit it has been flagged as a Potential Site of Importance (PSI). As a wildlife corridor, this does not preclude development but requires appropriate measures to be provided to protect the flow of wildlife through the site. The 8 metre buffer along the River Tame will, in part, enable this to take place along with the introduction of additional tree planting and sensitive lighting. The Wildlife Trust considered that the preliminary ecology report was insufficient and a full assessment should have been undertaken given its PSI status. I am advised that little weight can be attached to the PSI designation, the Black Country Core Strategy review is currently in progress and survey work has been undertaken to determine whether future sites require formal designation as either Site of Importance for Nature Conservation (SINC) or a Site of Local

- Importance for Nature Conservation (SLINC), this site was not included within this review.
- (iii) Increase in traffic – the proposal will create additional trips and concerns have been expressed by Highways regarding the assessment undertaken and the potential impact on the road network around Birchley Island and access and parking within the site.
 - (iv) Loss of privacy/light and outlook due to the site levels, proximity and height of the building.
Privacy – there are no windows proposed on the rear elevation facing residential properties, so there will be no overlooking issues.
Outlook/light - The building height equates to a 3 storey building and the interface distances, at the pitch point in the centre of the site, is 21.5 metres which shorter than those required namely 27.5 metres as stated in the revised residential design guide SPD. It is accepted that the proposal introduces additional screening with trees, however these are deciduous, so views will not always be obscured and the trees will take 10 years to mature and create an effective screen. I am therefore concerned about the imposing nature of the building in such close proximity to neighbouring properties.
 - (v) Litter – the introduction of the new pedestrian link from Titford Road could result in some litter, however a pedestrian gate has been indicated which could control access and hence the responsibility for maintaining the path will fall in the control of the occupiers of the site. With regard to the wider site, I do not envisage that litter would cause an issue to residents given that the building screens the service yard and parking areas from their properties.
 - (vi) Noise from traffic and operations – Environmental Health have no objection subject to limiting noise levels, an acoustic fence and preventing manoeuvring beepers during the night time.
 - (vii) Traffic flow will be impeded – The Highways service share these concerns regarding the volume of traffic and the shortfall of parking within the site for certain uses.
 - (viii) Vibration from the proposed use – It is accepted that vibration could be of concern, if the future end users operate presses or heavy machinery, such matters would need to be conditioned and further vibration reports required for certain uses.
 - (ix) Air Quality/pollution – The Air Quality Assessment has shown that the pollution levels will not be significant and that mitigation could

- offset the marginal increase such as encouraging sustainable travel, electric vehicle charging points and other measures calculated by the damage cost calculation (see 7.8 below).
- (x) Poor design – the proposal is for a relatively standard industrial building excepting some additional detailing to the office element. The urban design officer had requested that some natural breaks in the roof would improve its design whilst also reducing the impact on the residents of Titford Road. The most recent layout showed a reduction in the roof height by 1 metre, however this is considered to be too marginal to reduce the impact on the residents to an acceptable level.
 - (xi) Out of character with surrounding area – the area is a mixture of different uses, accepting that residential is to the south of the site to the north is the M5 and Birchley island which is commercial with the Asda Store to the west and the school to the east. Therefore the proposal would not be wholly out of character with the surrounding area.
 - (xii) Work commenced on site clearance – it is accepted that some site clearance took place to necessitate survey work to inform the planning application, I am satisfied that these works did not require planning consent.
 - (xiii) Other vacant industrial site should be considered – whilst I accept that there are other vacant sites within the borough, the site is allocated for employment use and hence there is no requirement to undertake a sequential test of other sites.
 - (xiv) Antisocial Behaviour/security – West Midland Police had no objections to the proposal accepting that the scheme should incorporate secured by design measures.
 - (xv) Noise/anti-social behaviour from the revised footpath – the proposed footpath indicates a gate to the frontage but does not indicate how the footpath will be enclosed. Given that the nearest bungalow at 131 Titford Road has window serving their kitchen on the side elevation, I consider that the occupiers will suffer from disturbance particularly given that the proposal is for a 24/7 operation. Furthermore if the access is not controlled then the area would be vulnerable to anti-social behaviour.

6.4 Support

No comments have been received which support the application.

7. STATUTORY CONSULTATION

7.1 Planning and Transportation Policy

The site is allocated as local quality employment which states that these areas should be safeguarded for industrial and warehousing development. The site also forms part of a wildlife corridor and hence under policy ENV1, the movement of wildlife should not be impeded as part of the proposed development (refer to comments below 7.7). Other relevant policies are limiting flooding and sustainable drainage (ENV5) see comments below 7.6, Air Quality (ENV8) see comments below 7.8

The application is also supported by a travel plan which aims to introduce a package of measures to encourage staff to travel to work by sustainable modes (i.e. walking and cycling), however the cycle/pedestrian routes proposed from Titford Road is on 1.8 metres wide. Cycling guidance states that these routes should be 3 metres wide to allow for passing and therefore the route is considered to be unacceptable in its current form. In addition, the cycle parking is in the wrong location (i.e. away from the main entrance and close to natural surveillance).

7.2 Healthy Urban Development Officer

The concerns expressed regarding walking and cycling are shared, in particular that the most sustainable bus route being the No 4 is accessed from Birchley Island which is poorly served with pedestrian routes to the site. Therefore the transport statement and travel plan should be revisited.

7.3 Highways

Highways are unable to support the proposal largely due to the speculative nature of the development for B1c, B2 and B8 uses. They have stated that they have questioned the data provided, which is based on assumptions given that there is no end user and it is therefore impossible to accurately determine the likely impact the development will have on Birchley Island. Highways have therefore considered the worst case scenario for trip rates and parking accumulation.

Trip rates - The applicant has failed to provide adequate information on the proposed generated traffic flows and their distribution through both Sandwell's and Highways England network to sufficiently determine if the effect on the worst case development would have a detrimental or severe impact on that network. As Birchley Island runs near capacity most days,

the test of severity here is not the additional percentage of traffic going through the junction but rather one of if the proposed peak time traffic from the development tips the balance on the island and causes major congestion. The worst case scenario would be potentially 209 cars and HGV traffic arriving and departing at peak times.

Parking - A B2 use would require 247 parking spaces, however following evidence from the applicants it was agreed that a maximum of 209 spaces should be provided. The original scheme showed parking for 62 cars, however a revised parking layout have demonstrated that a maximum of 163 spaces could be provided, but with further access widening this could reduce to 160. Therefore Highways have estimated that there will be a shortfall of 49 spaces in the worst case scenario.

7.4 Highways England

A further assessment was submitted and consultation has taken place with Highways England, however their response is still awaited.

The further assessment relates to:-

- the assessment of traffic flows around Junction 2 (M5) vehicular movements to and from the site;
- turning movements to access the site for HGVs and a swept path has been requested;
- proposed pedestrian and cycle access;
- additional information regarding drainage details.

An update will be provided at your meeting.

7.5 Environment Agency

Following further clarification regarding the proximity of the development to the watercourse, and the bridge crossing the water course to the new development, the Environment Agency removed their objection. The scheme now shows an 8 metre clearance from the main river channel and so the whole development falls with flood zone 1 (low risk of flooding). With regard to the bridge, they have set parameters for the level of the bridge and state that the detail can be dealt with via the Environmental permit regulations.

7.6 Lead Local Flood Authority

No objections from the LLFA subject to conditions limiting the surface water run-off to 10.2 litres per second which would include the provision of attenuation flood storage, water treatment and management/ maintenance of the installed system.

7.7 Birmingham and Black Country Wildlife Trust

The wildlife trust have stated that the site is currently recognised as part of the Tame Valley Potential Site of Importance which whilst mainly being the river itself also includes areas of open space which are key stepping stones along the river corridor. They consider that further consideration should be given to whether the site is a Site of Importance for Nature Conservation (SINC) or a Site of Local Importance for Nature Conservation (SLINC), in particular they consider that the assessment undertaken by the applicant's appointed Ecologist would merit at least a SLINC status and as such the habitat included within the site should be provided the ecological significance and mitigation to reflect this. Therefore the wildlife trust have stated that they would still wish to seek a full ecological assessment which included detailed and confirmed proposals for avoidance, reduction, mitigation and compensation to be provided within the proposed development.

With regard to the lighting strategy they have stated that no details have been provided to demonstrate how the local bat population would be protected.

7.8 Environmental Health (Air Quality)

The proposal requires types 1, 2 and 3 under the Black Country Air Quality SPD, namely electric vehicle charging points, a low emissions strategy and a damage cost calculation with appropriate mitigation. They have made the following comments and conclusions on the Air Quality Impact Assessment:-

- (i) It is based on traffic data, but given the uncertainty of the proposed end user, this could be an under prediction in traffic movements and a lower damage cost calculation value (note this value then amounts to the number of measures that need to be put in place to offset the damage cost).
- (ii) There are negligible risks from construction impacts.
- (iii) The operational impacts would not be significant on local PM₁₀ concentrations (particulate matter/concentrations)
- (iv) The damage limitation cost has been calculated at £57,412 and should be spent on measures aimed at mitigating air quality
- (v) Conditions are recommended to include an Earthwork/construction mitigation plan; introduction of the electric vehicle charging points (stated to be 63.5% of the car parking area) and the submission of a low emissions strategy which equates to the calculated damage

limitation cost in (iv) above but this would subject to the end users and the correct calculation for traffic movement.

7.9 Environmental Health (Contaminated Land)

No objections subject to conditions requiring site investigation and remediation (if required).

7.10 Environmental Health (Air Pollution and Noise)

The proposal is close to residential property on Titford Road and this could result in an adverse impact in relation to exposure from noise associated with the proposed development. They have therefore recommended conditions relating to restricting the noise levels from the use/s to include restricting night time operations along with preventing bleeper being used during the night time for HGVs.

With regard to lighting, they do not consider that this will impact on the residents of Titford Road.

7.11 Urban Design

The proposed façade to the rear of the residents on Titford Road, being a large expanse of continuous solid mass of roof for 90 metres at a height of 11 metres will have an overbearing impact on residential amenity, particularly for houses 139-183 Titford Road, where interface distances are only 21.5 metres from the site.

7.12 West Midlands Police

No objections but it is recommended that the development incorporates secure by design measures to reduce crime.

7.13 Severn Trent

No objections subject to conditions relating foul and surface water disposal.

7.14 Coal Authority

There are no objections. The Coal Risk Assessment accompanying the planning application has recommended intrusive site investigation to determine the exact ground conditions. This is considered to be an acceptable approach given that the majority of the site falls outside a high risk area.

7.15 Canal and River Trust

No objections.

7.16 Health and Safety Executive

The site lies within the Solvay Middle Zone, however the HSE do not advise against the grant of planning permission.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

- 8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area. This should include creating a strong economy, achieving strong, vibrant and healthy communities and protecting and enhancing the natural and built environment. It is important that all these factors are considered when deciding on the merits of proposed new development.

9. LOCAL PLANNING POLICY

- 9.1 The following sections of the Council's Development Plan are relevant:-

EMP3: Local Quality Employment Areas

ENV1 : Nature Conservation

ENV3: Design Quality

ENV5: Flood Risk, Sustainable Drainage System and Urban Heat Island Effect

ENV7: Renewable Energy

ENV8: Air Quality

TRAN2: Managing Transport Impacts of New Development

EMP5 Improving Access to the Labour Market Training and Recruitment

SAD EMP1: Employment Land Development Sites

SAD EMP2 – Training and Recruitment

SAD EMP4 : Relationship between Industry and Sensitive Uses

SAD EOS9: Urban Design Principles

SAD EOS10: Design Quality & Environmental Standards

- 9.2 EMP3 Local Quality Employment Areas seek to provide a portfolio of local quality employment land. This particular site has been allocated as such.
- 9.3 ENV1 Nature Conservation states that development will not be permitted for nationally designated sites such as SINCs, but with regard to Wildlife Corridors designation the policy does not preclude development but states that wildlife should not be impeded by development. The scheme provides measures that would assist with the flow of wildlife through the 8

metre buffer along the water course and the introduction of additional trees for nesting birds, albeit this has been questioned by the Wildlife Trust.

- 9.4 ENV3 Design Quality seeks to achieve high quality design which introduces measures that achieve crime prevention through secured by design principles. The main area of concern relates to the introduction of the new pedestrian/cycle link. The scheme could be conditioned to adopt these principles.
- 9.5 ENV5 Flood Risk, Sustainable Drainage System and Urban Heat Island Effect, refers to ensuring that schemes do not exacerbate flooding using sustainable drainage systems. The scheme provides such measures.
- 9.6 ENV7 Renewable Energy refers to the introduction of renewables to reduce energy consumption, this could be conditioned.
- 9.7 ENV8: Air Quality refers to reducing exposure to poor quality area. Conditions are recommended by Environmental Health following the review of the Air Quality Assessment, to include an Earthwork/construction mitigation plan; introduction of the electric vehicle charging points (stated to be 63.5% of the car parking area) and the submission of a low emissions strategy commensurate to the calculated damage limitation cost (see 7.8 above).
- 9.8 TRAN2: Managing Transport Impacts of New Development requires proposal to demonstrate their travel and transportation impacts together with proposal for mitigation. The impacts for this scheme remain uncertain with concerns regarding the effect of vehicular trips on the road network, difficulties with access and egress for HGVs and poor connectivity to the site for pedestrians and cyclists.
- 9.9 EMP5 Improving Access to the Labour Market Training and Recruitment and SAD EMP2 – Training and Recruitment requires large employment generating schemes to provide opportunities for training and recruitment. This could be conditioned to secure these opportunities.
- 9.10 SAD EMP1: Employment Land Development Sites identifies sites within the Borough for B1b (Research and Development), B1c (Light Industrial), B2 (General Industrial) and B8 uses (Storage and Distribution). This site is allocated for this purpose.
- 9.11 SAD EMP4 : Relationship between Industry and Sensitive Uses refer to considering adverse effects of industrial development on neighbouring uses stating they should not be permitted unless the adverse effect can be reduced to an acceptable level. This proposal has raised concerns regarding noise resulting from the activities associated with an

employment use for industrial purposes, however conditions have been recommended to protect residents from noise. (refer to 7.10 above). More critically, the interface distance of the building itself and its massing has raised concerns and in this regard the relationship of the building is considered to cause harm to the amenity of the residential properties on Tiford Road.

- 9.12 SAD EOS9: Urban Design Principles refers to new development being of appropriate scale and compatible with their surroundings. As indicated above the area is characterised by a variety of uses, however the scale of building in relation to the adjoining residential boundary is of concern. The current height does not meet the separation distances set out within the Revised Residential Design Guide SPD which can be used as a guide to determine whether there is an appropriate separation between new industrial building and existing residential property.
- 9.13 SAD EOS10: Design Quality & Environmental Standards refers industrial development giving regard to i) materials and landscaping, ii) pollution and noise control and iii) environmental impact including wildlife. With regard to the proposal, the materials are relatively standard and landscaping buffers are provided, as indicated above noise can be controlled by condition but whilst mitigation has been provided to preserve the wildlife corridor, this has been questioned by the Wildlife Trust.

10. MATERIAL CONSIDERATIONS

- 10.1 The material considerations relating to Government policy (NPPF) and proposals with the local plan have been referred to above in Sections 8 and 9. With regard to the other considerations these are highlighted below:

10.2 Loss of light and/or outlook and overbearing nature of the proposal

As indicated the proposal by virtue of its height and mass and separation from residential properties on Tiford Road is likely to cause harm to outlook. Despite the introduction of the trees, which are welcomed, concerns remain, as the trees are deciduous will take up to 10 years to mature and when not in leaf, the building will appear dominant and imposing to residents.

10.3 Access, highway safety, parking and servicing

As indicated above, the access arrangements have raised concerns regarding queuing traffic onto the road network and the projected figures for parking have been questioned.

10.4 Traffic generation

The Highways department and Highways England consider that the assessment should further evidence was required regarding traffic implications on around Birchley island Junction 2 of the M5. Sandwell's highways have re-iterated their concerns following receipt of additional information (para 7.3) but comments are still awaited from Highways England (para 7.4).

10.5 Noise and disturbance from the scheme

Whilst I remained concerned regarding the control of noise through conditions referred to above (para 7.10). I am advised that these will suitably control noise and I am aware of such conditions being imposed on other industrial related development.

10.6 Air quality/pollution

The Air Quality Assessment has been considered by the Environmental Health Officer the mitigation measures proposed are deemed to be acceptable.

10.7 Nature conservation and loss of ecological habitats

Whilst the development will reduce the area for ecological habitats, the water course will be protected and will allow habitats to move through the site along the wildlife corridor. Therefore in light of the current policy requirement and the current designation the mitigation measures are deemed to be acceptable.

10.8 Flood risk

The proposal has been assessed against the Flood Risk Assessment and Drainage Strategy and no objections have been received from either the Environment Agency or the Lead Local Flood Authority (LLFA). As indicated above appropriate mitigation has been proposed and is deemed to be acceptable to reduce flooding.

10.9 Security and Safety

The proposed footpath link has given rise to additional concerns regarding security and safety, I am mindful that secured by design measures could control the access, but given the proximity of the footpath to the residential property 131 Titford Road, even with these measures in place, I remain concerned that their security could be compromised.

11. IMPLICATIONS FOR SANDWELL'S VISION

- 11.1 The proposal supports Ambitions 3, 8 and 10 of the Sandwell Vision 2030:-
- 11.2 Ambition 3 – Our workforce and young people are skilled and talented, geared up to respond to changing business needs and to win rewarding jobs in a growing economy
- 11.3 Ambition 8 – Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.
- 11.4 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

- 12.1 The proposal in principle should be accepted given that the site is allocated for industrial development. Nevertheless in this instance, material consideration relating to loss of outlook/overbearing nature, traffic generation/parking and sustainable pedestrian/cycle routes are still deemed to be unacceptable. Therefore giving regard to these factors it is considered that the detailed proposal under consideration would:-
- i) Give rise to severe highway safety issues due to insufficient information being provided in relation to traffic generation and insufficient parking within the site and the proposed pedestrian/cycle route would not provide appropriate sustainable travel opportunities to access the site and is therefore contrary to TRAN 2 Managing Transport Impacts of New Development;
 - ii) The proposal would result in harm to residential property by virtue of loss of outlook due to the proximity, mass and height of the buildings having an overbearing effect on the nearest residential properties and being contrary to Policies EMP4, ENV3 and SAD EOS9.
 - iii) The proposal footpath link would have detrimental effect on the amenities of the adjoining property 131 Titford Road by virtue of noise and disturbance due to the proximity of the footpath to their property.

13. STRATEGIC RESOURCE IMPLICATIONS

- 13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

- 14.1 This application is submitted under of the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

- 15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

- 16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

- 17.1 The scheme can be conditioned to be designed in accordance with Secure by Design guidance.

18. SUSTAINABILITY OF PROPOSALS

- 18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

- 19.1 Refer to the summary of the report (12) in particular the scheme can be conditioned to provide opportunities for training and recruitment in accordance with SAD EMP2.

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

- 20.1 There will be no impact.

21. APPENDICES:

Site Plan

Context Plan

31058-PL-01 B

31058-PL-02 C

31058-PL-03

31058-PL-04

31058-PL-05

31058-PL-06 A

31058-PL-07

31058-PL-08

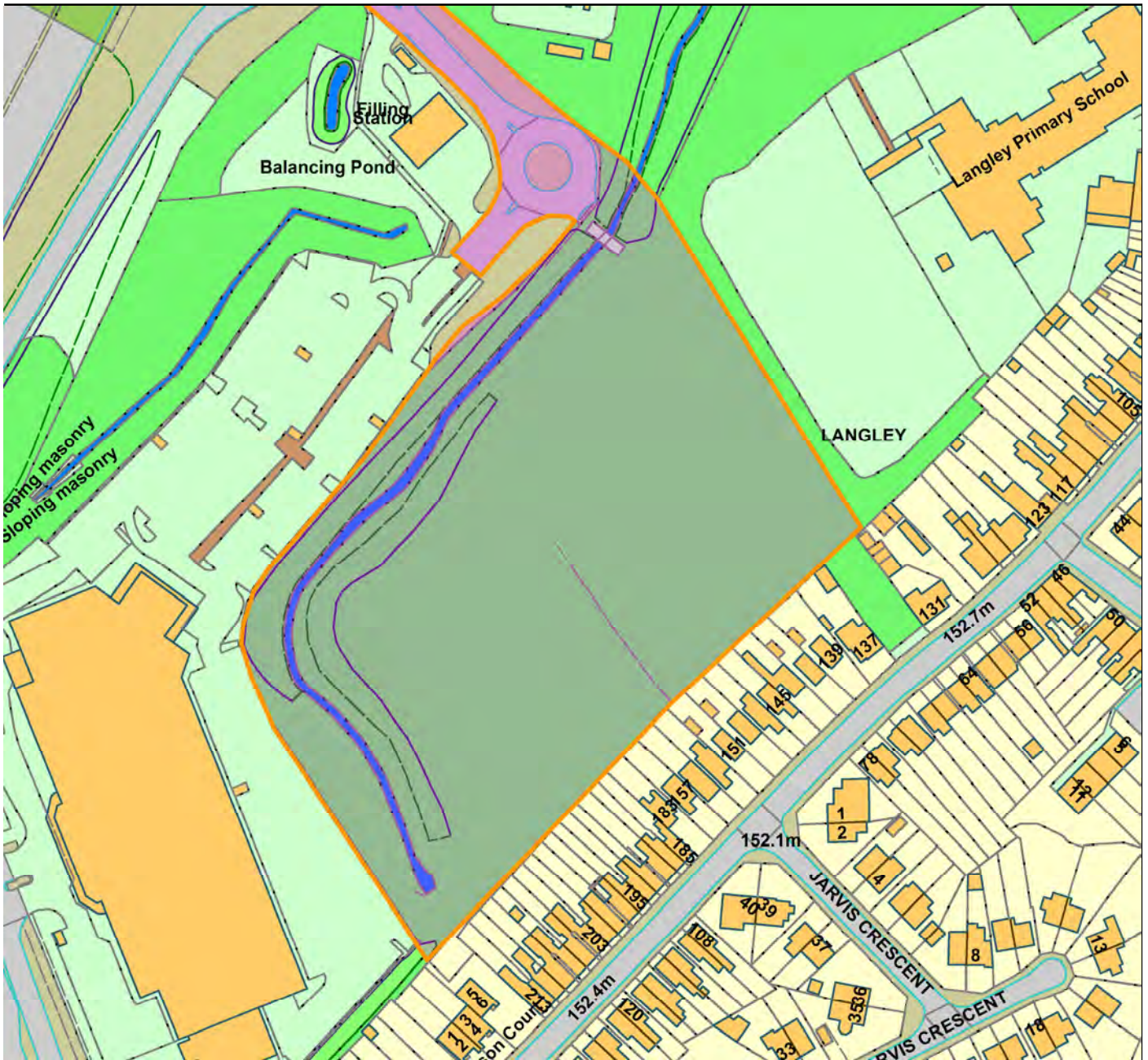
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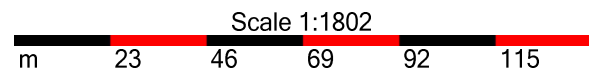
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Land Adj to Asda, Wolverhampton Road



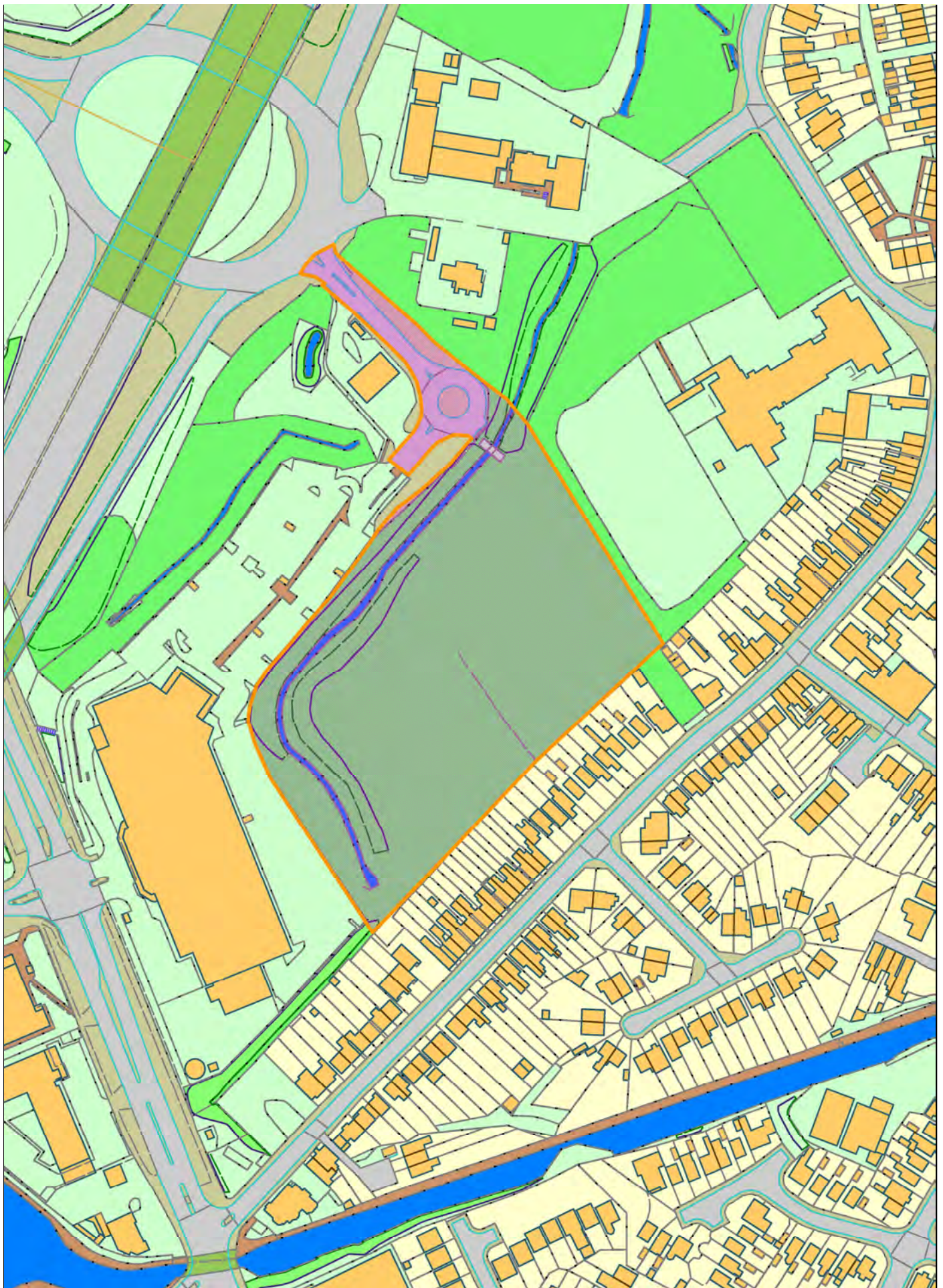
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Department	Not Set
Comments	Not Set
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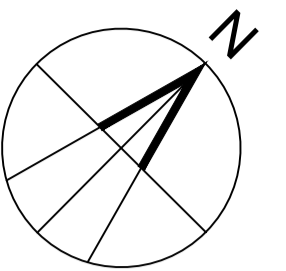


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- KEY:
- APPLICATION BOUNDARY
 - 5% ACTIVE ELECTRIC VEHICLE CHARGING SPACES;
 - 5% FUTURE CONNECTION FOR ELECTRICAL OPERATIONAL VEHICLES
 - CYCLE PATH

AREA SCHEDULE
GIA

1	sqm	sqft
Unit	3,638	39,160
FF+SF Offices	594	6,400
Sub total	4,232	45,560

PARKING 31

AREA SCHEDULE
GIA


1	sqm	sqft
Unit	2,787	30,000
FF Offices	391	4,210
Sub total	3,178	34,210

PARKING 31


GRAND TOTAL	7,410	79,770
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	Ha	acres
DEVELOPABLE AREA	1.520	3.76

REV	DATE	NOTE	DRAW	CHK
C	04/11/2019	Updated cycle path	PB	MT
B	04/10/2019	Area schedule added to layout	PB	MT
A	24/09/2018	Removed Ownership boundary	AT	AC
-	24/07/2018	FIRST ISSUE	AT	AC



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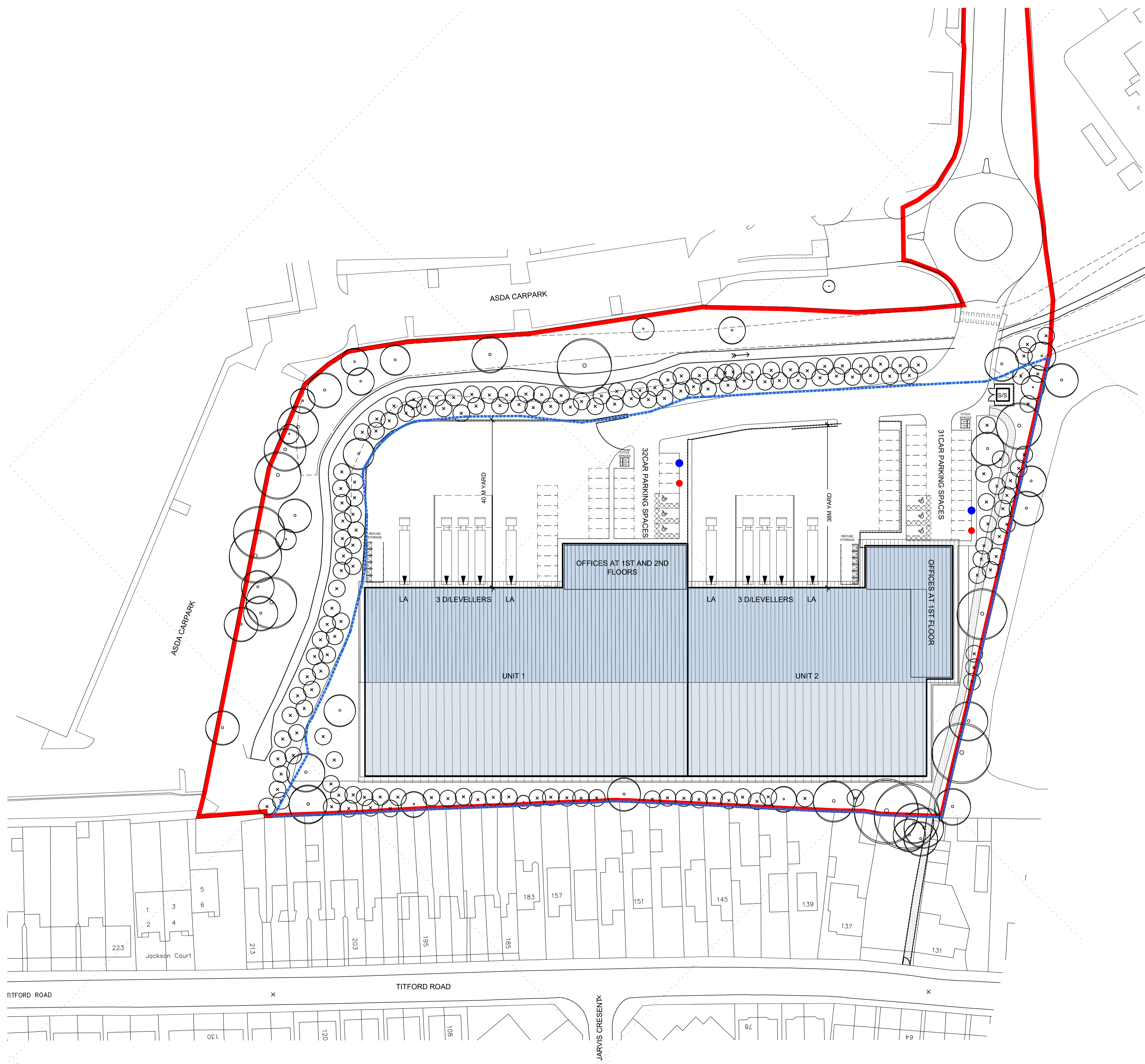
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 OLDBURY**

DRAWING
SITE LAYOUT PLAN

CLIENT
CANMOOR

DATE JULY 2018	SCALE 1:500@A1	DRAWN AT
	STATUS PLANNING	CHECKED AC

DRAWING NUMBER
31058-PL-02 C



01 SITE LAYOUT PLAN
02 1:500

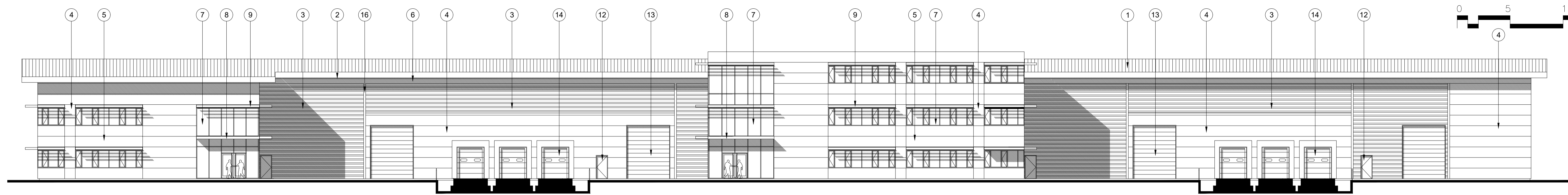
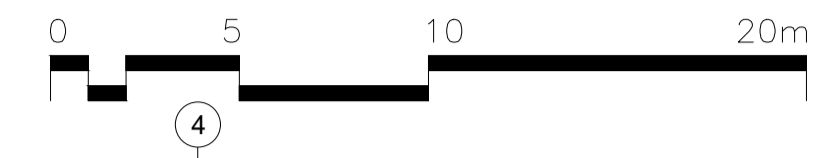
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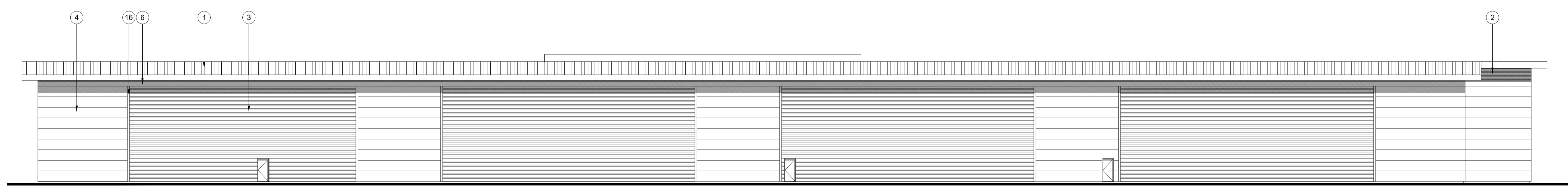
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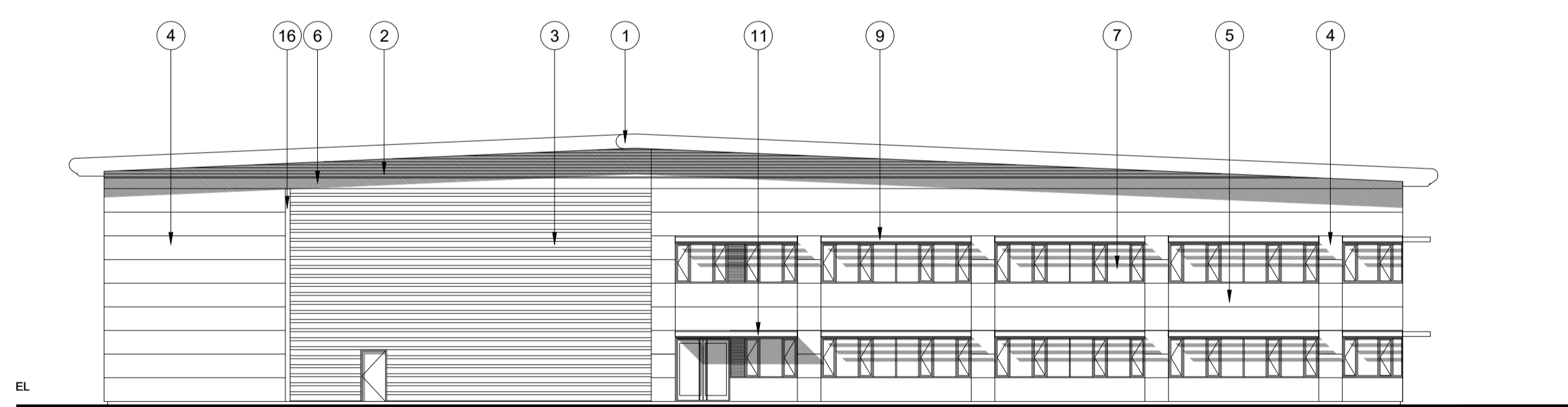
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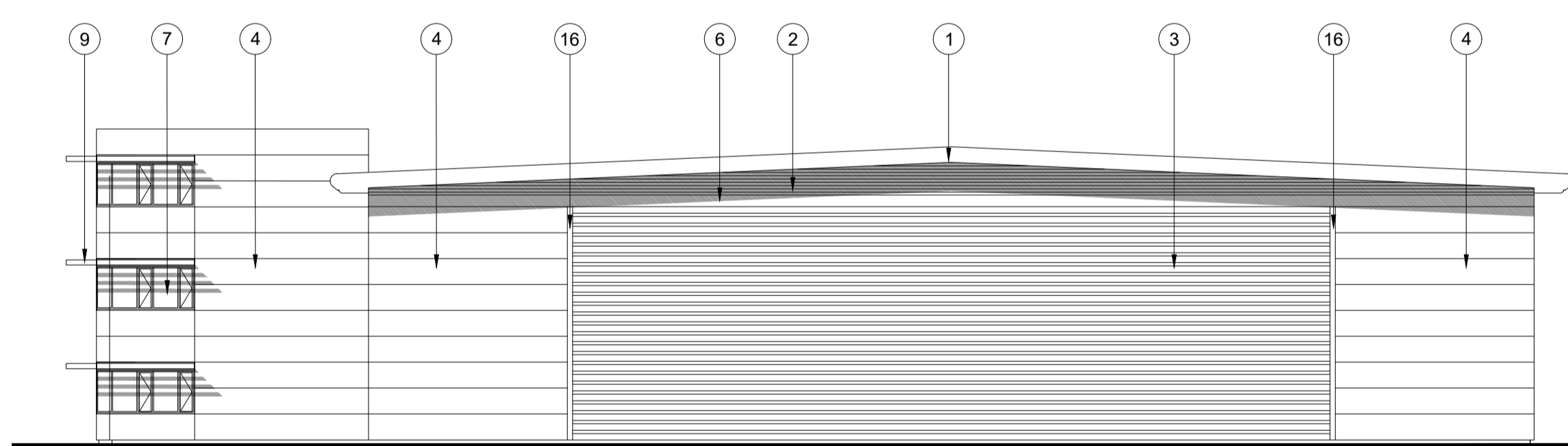
01
06 NORTH ELEVATION
1:200



02
06 SOUTH ELEVATION
1:200



03
06 EAST ELEVATION
1:200




04
06 WEST ELEVATION
1:200


ILLUSTRATIVE KEY TO EXTERNAL FINISHES:

- | | | |
|---|---|--|
| <p>1 Metal Roof Fully insulated roof system. Colour: Metallic Light Silver</p> <p>2 Sinusoidal Profile Metal Cladding Fully insulated sinusoidal cladding panels laid horizontally. Colour: Metallic Light Silver</p> <p>3 Trapezoidal Profile Cladding Fully insulated trapezoidal cladding panels laid horizontally. Colour: 3-Metallic Light Silver & 3a-Moorland Green</p> <p>4 Flat Metal Cladding Panels A Fully insulated flat metal composite panels 900 or 1000mm wide laid horizontally, secret fixed with preformed corners. Colour: 4-Metallic Light Silver & 4a-Olive Green</p> <p>5 Flat Metal Cladding Panels B Fully insulated flat metal composite panels 900 or 1000mm wide laid horizontally, secret fixed with preformed corners. Colour: Metallic Light Grey</p> <p>6 Horizontal Metal Band Aluminium, Colour: 6-Metallic Dark Grey & 6a- Meadowland</p> | <p>7 Curtain Walling & Windows Double glazed curtain walling with polyester powder coated aluminium system frame and capping. Glass Colour: clear tinted anti-sun glass Frame Colour: to match cladding</p> <p>8 Office Entrance Canopy Stainless steel and clear glass</p> <p>9 Brise Soleil Powder coated aluminium horizontal aerofoil fins. Colour: Metallic Light Silver</p> <p>10 Channel Feature Aluminium profiled channel feature for the Brise Soleils Colour: Metallic Dark Grey</p> <p>11 Office Canopy Steel frame canopy with flat metal fascia and soffit. Colour: Metallic Dark Grey</p> <p>12 Personnel Doors Painted metal factory finished, colour: 12-Metallic Light Silver & 12a-Meadowland & 4a-Olive Green</p> | <p>13 Loading Doors : level access Painted metal factory finished, colour: Metallic Light Silver</p> <p>14 Loading Doors : dock level access Painted metal factory finished, colour: Metallic Light Silver</p> <p>15 'T' Joints Vertical 'T' flashing, Colour: To match cladding</p> <p>16 Recessed Joints Recessed vertical jflashing, 200mm wide Colour: to match cladding</p> |
|---|---|--|

A	04/11/2019	Haunch dropped at 9m	AT	AC
-	24/07/2018	FIRST ISSUE	AT	AC
REV	DATE	NOTE	DRAW	CHECK



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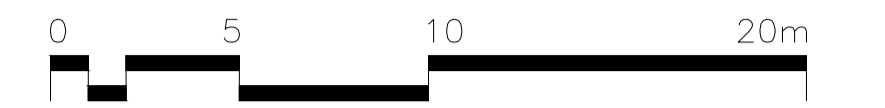


TITLE
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 DRAWING
ELEVATIONS
 CLIENT
CANMOOR

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DRAWING NUMBER 31058-PL-06 A		



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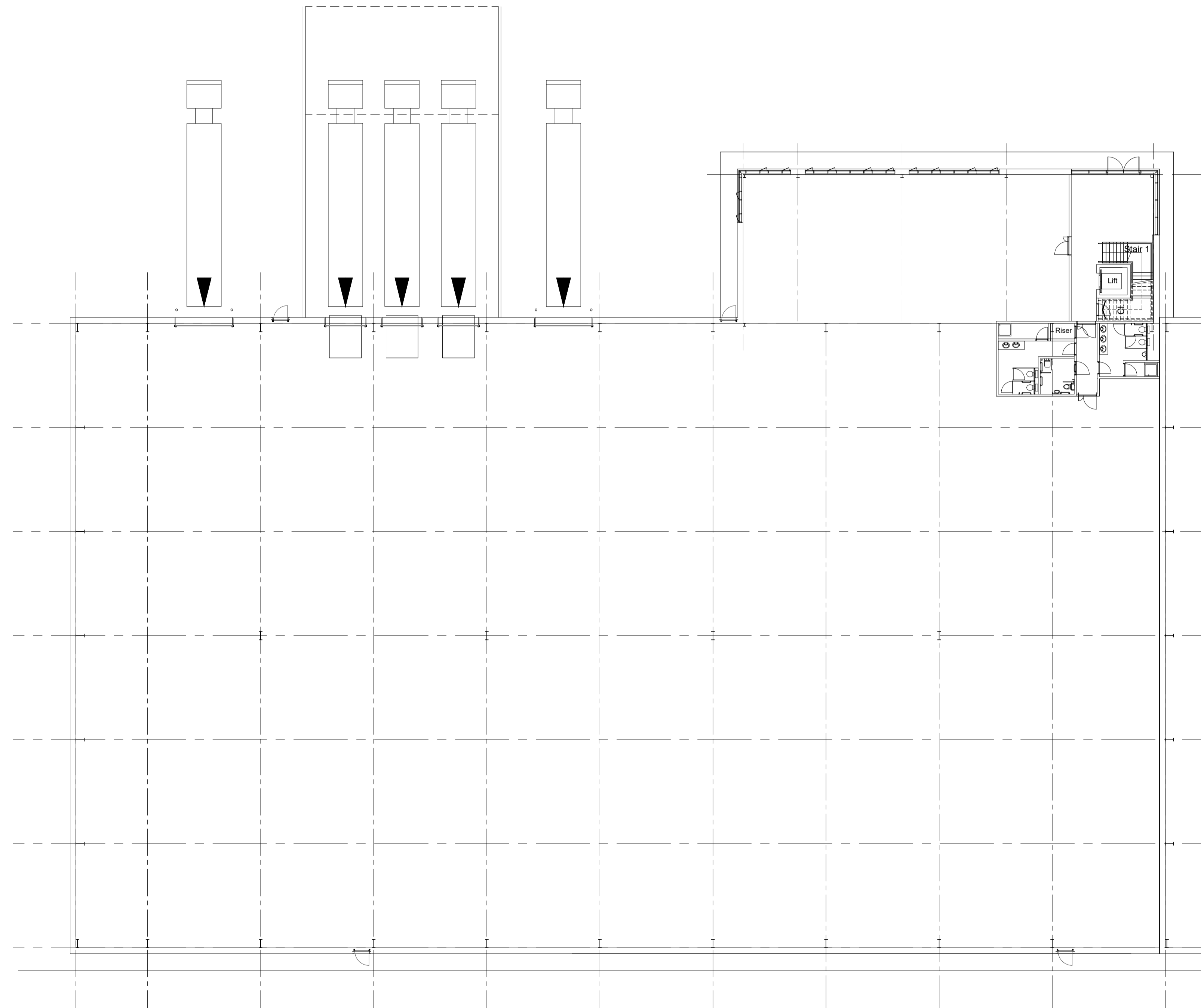
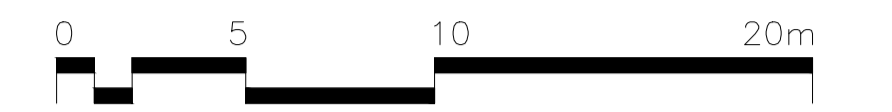
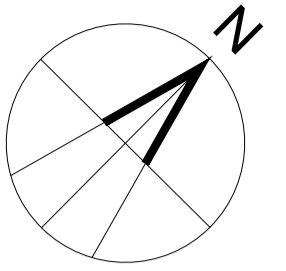
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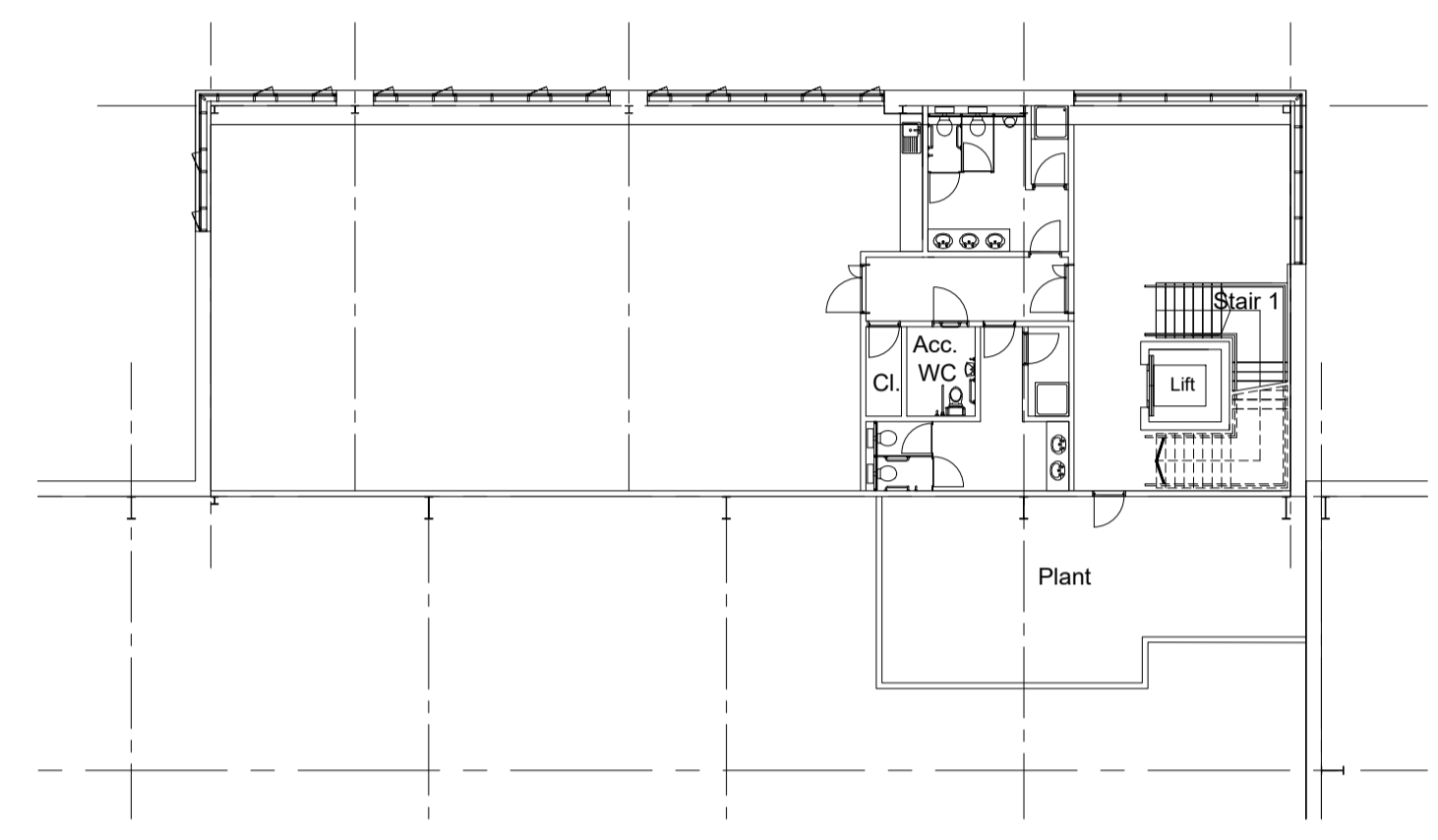
 		
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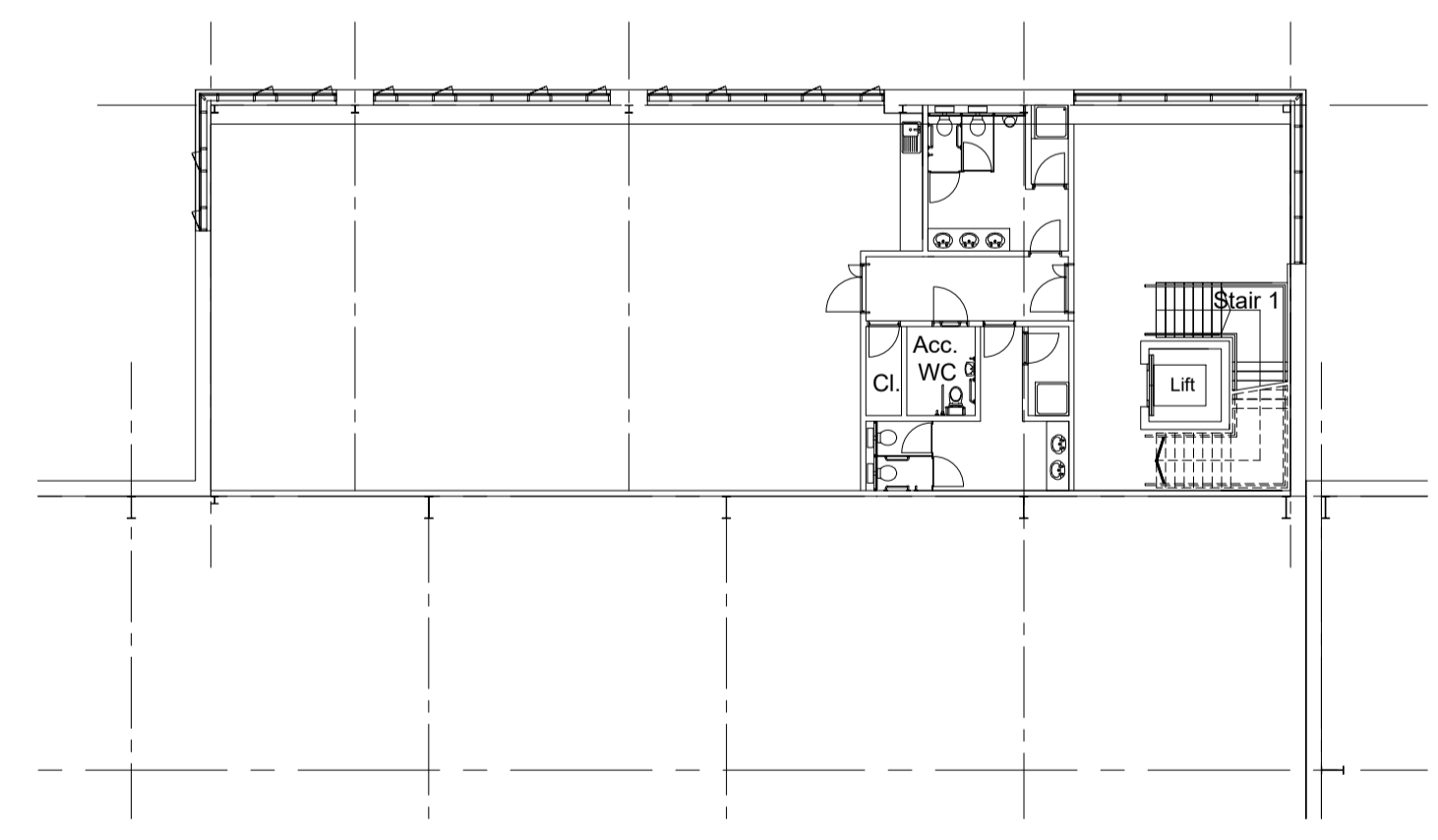
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01
04 GROUND FLOOR PLAN 1:200




02
04 FIRST FLOOR PLAN 1:200




03
04 SECOND FLOOR PLAN 1:200

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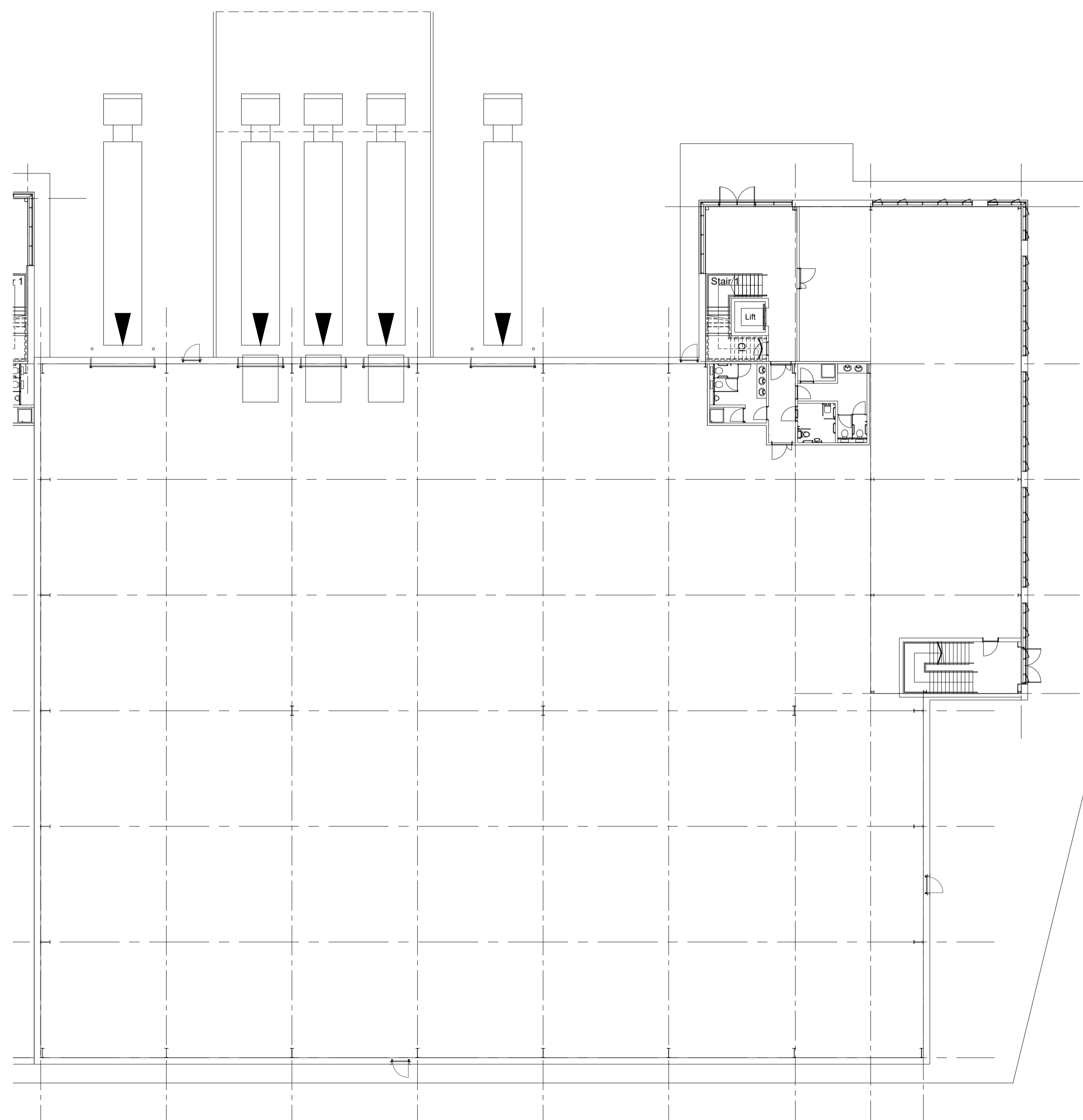
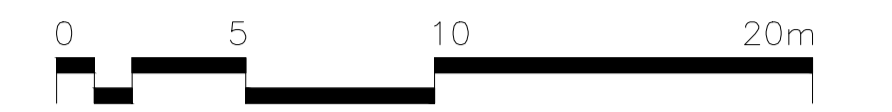
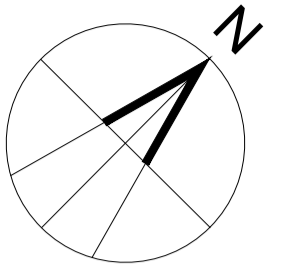
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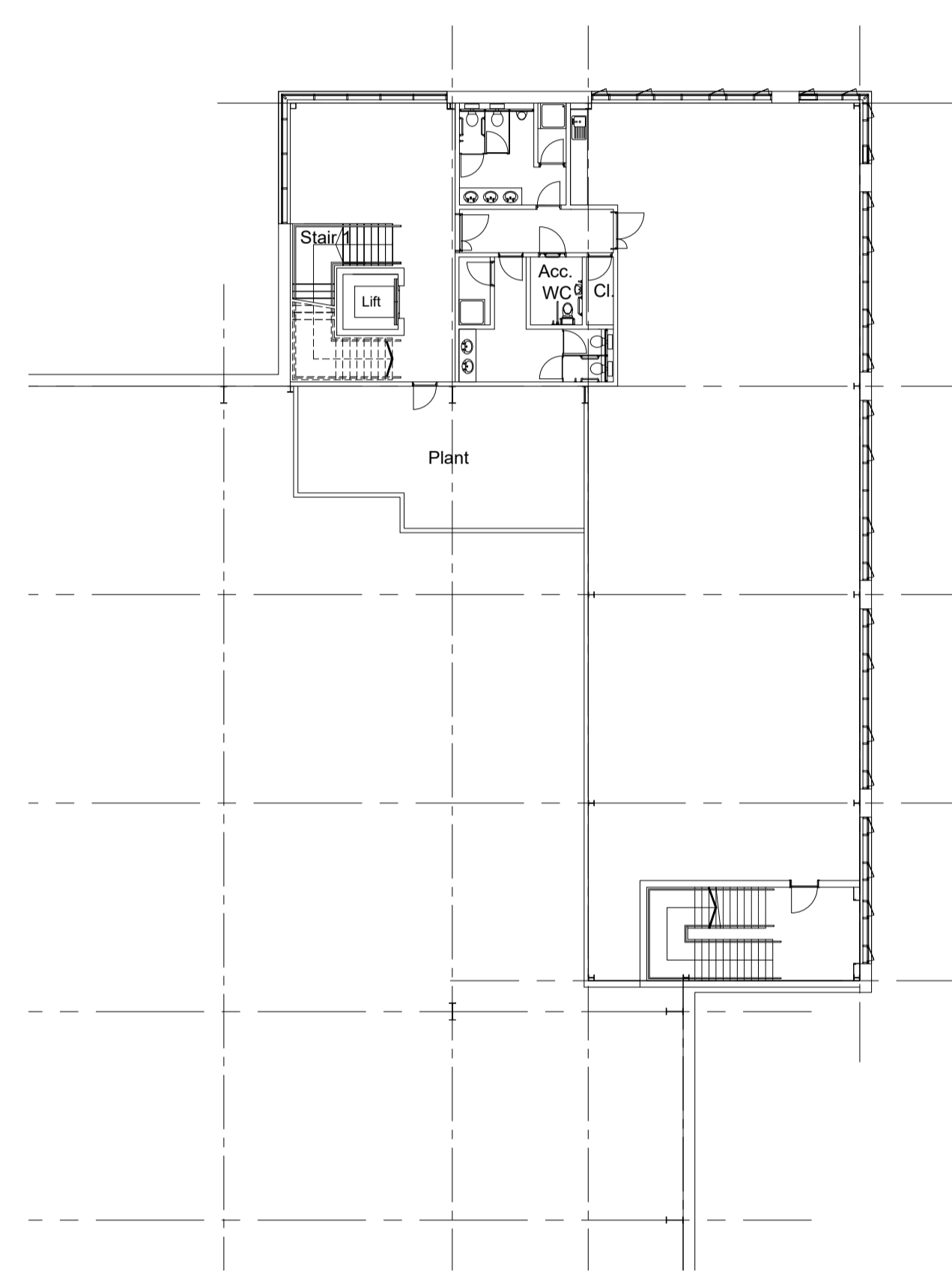
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01
05 GROUND FLOOR PLAN 1:200



02
05 FIRST FLOOR PLAN 1:200

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CLIENT
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DRAWING NUMBER
31058-PL-05

OUTLINE SPECIFICATION

Refer to schedules for plant sizes, form, support and tree pit dimensions

Treepit dimensions: Formation depth as schedules
300mm depth topsoil over 450/600mm depth free draining subsoil
Shrub/ Transplant Beds: 300 x 300mm x 300mm deep pits backfilled with topsoil within 700mm depth of subsoil.
Reinforced Grass Path: Infill grids with imported topsoil
Wildflower & Grass Areas: 400mm depth of subsoil. No topsoil.

Subsoil shall be sourced from soils below the topsoil layer with minimal organic matter and consist of a mix of clay and stone. No construction fill shall be evident in this layer.

Imported topsoil shall be in accordance with BS3882:2015.
Multi-Purpose grade as supplied by Freeland Horticulture or otherwise approved. Tel:01232-619161

Remove objects greater than 75mm in size from the topsoil and cart away.

Provide an analysis of imported/ stockpiled topsoil with recommendations for making good any deficiencies. Provide details of the source and a 1kg sample of imported topsoil for approval by the Landscape Architect.

TREES
Tree Inspection
Trees to be selected by the Landscape Architect at the grower's nursery.

Triple staking: 3No. 75mm diam. x 1800mm long stakes set equidistant around the tree rootball. Top of stake 800mm above ground level. Tree tied to each stake with 25mm wide neoprene straps and 300mm long plastic sleeves.

Oblique staking: Single 75mm diam. x 1800mm long stake set at 45 degrees in North East direction and fixed to stem with single spacer and 38mm wide neoprene strap

Single Staking
Single 75mm diam. x 1800mm long stake fixed twice with neoprene straps and rubber spacers

Root Preparation
Trees to be rootballed for planting between November and March inclusive.
All trees to be container grown or containerised for planting between April to October inclusive.

Install 75mm diameter land drain to completely surround the rootball of each tree with one end exposed above the mulch.

SHRUB SELECTION
Do not deliver onto site any substitution of species, cultivar, plant size or container volume other than described in the Plant Schedules without prior approval from the Landscape Architect. The Contractor shall submit a list of possible alternatives beforehand for agreement by the Landscape Architect.

SHRUB PLANTING
Refer to schedules for container grown or bareroot shrubs. Bareroots to be planted between November and March inclusive. For all shrubs and transplants, backfill 300 x 300 x 300mm deep plant pit with 1 part Green-Waste compost and 5 parts topsoil thoroughly mixed before backfilling.

BAREROOT / TRANSPANT PLANTING
Bareroot plants only to be planted between November and March inclusive. Substitute for container grown stock if planted outside the planting season.

Shrubs planted into graded and cultivated subsoil within 30 x 30 x 30cm deep plant pits backfilled with imported/ stockpiled topsoil mixed with an approved Green-Waste compost at a rate of 3kg per cu.m. Conditioner must be mixed with topsoil prior to backfilling plant pits.

All bareroot trees and shrubs to be dipped in mycorrhizal fungi slurry as Terraviv-G supplied by PlantWorks Ltd. (www.plantworks.co.uk) diluted to 1:5 mix. Dip whole root system prior to planting. Allow for suitable containers to be located close to the planting areas.

MULCH
50mm thick x 300mm² surround of 35-75mm size bark mulch cover to all exposed topsoil within plant beds. 14% maximum wood content permitted. Provide a sample to the Landscape Architect prior to delivery.

WILDFLOWER & GRASS AREAS
No topsoil to be spread in grass areas, except the reinforced grass path. Cultivate the subsoil to provide a fine tith. Remove stones and other objects greater than 75mm in size.

Wildflower & Grass Mix: "EM2" Meadow Grass Mixture sown at a rate of 5 grams per sq.m. as supplied by Emorsgate Seeds (01553-829028 / www.wildseeds.co.uk)

A general pre-seeding fertiliser shall be applied to the soil between 3 and 5 days before laying turf or sowing seed and incorporated into the top 25mm of tith at a rate of 70gms/sq.m

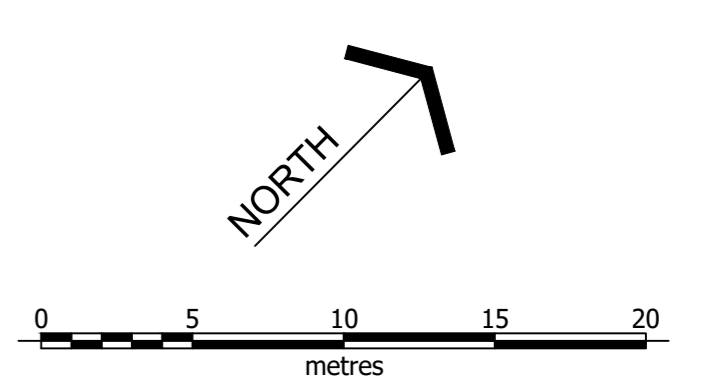
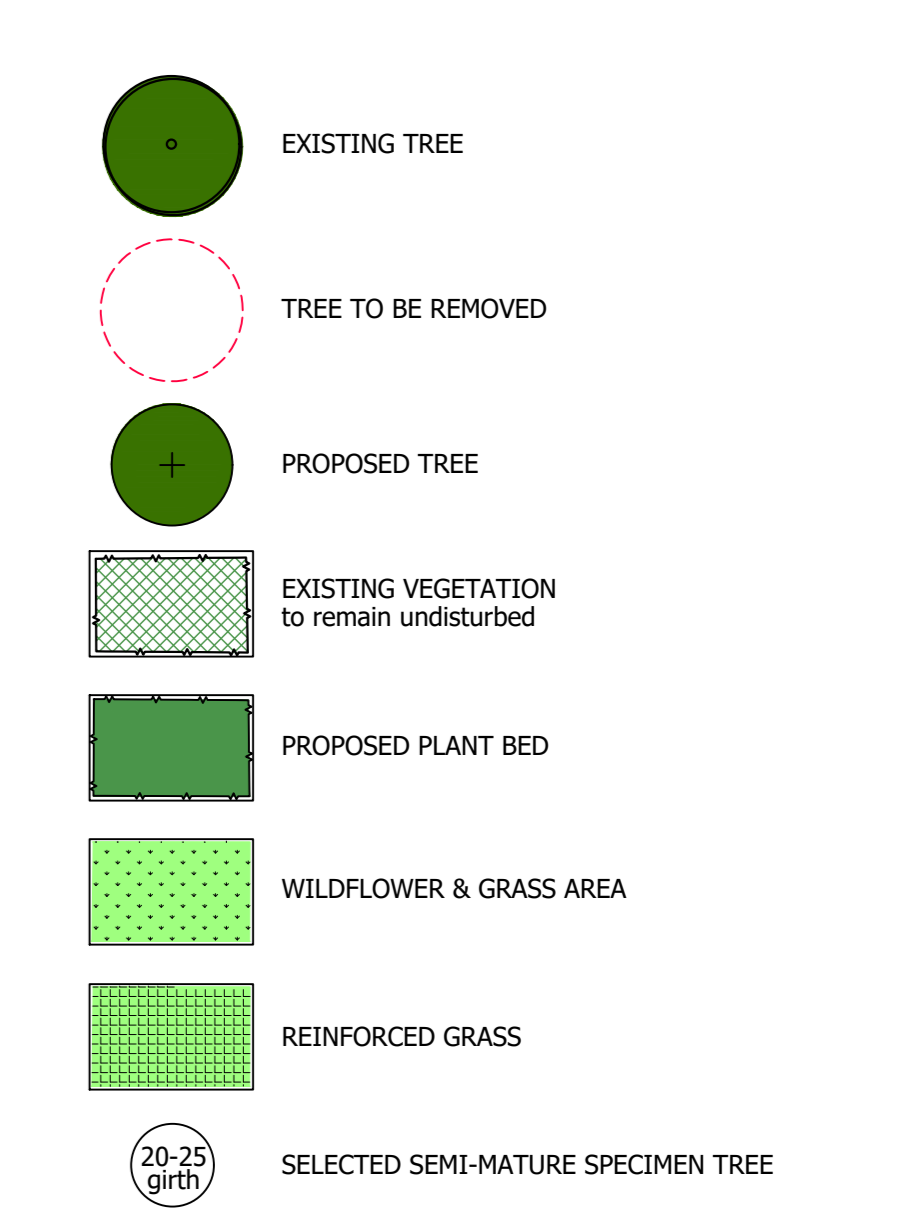
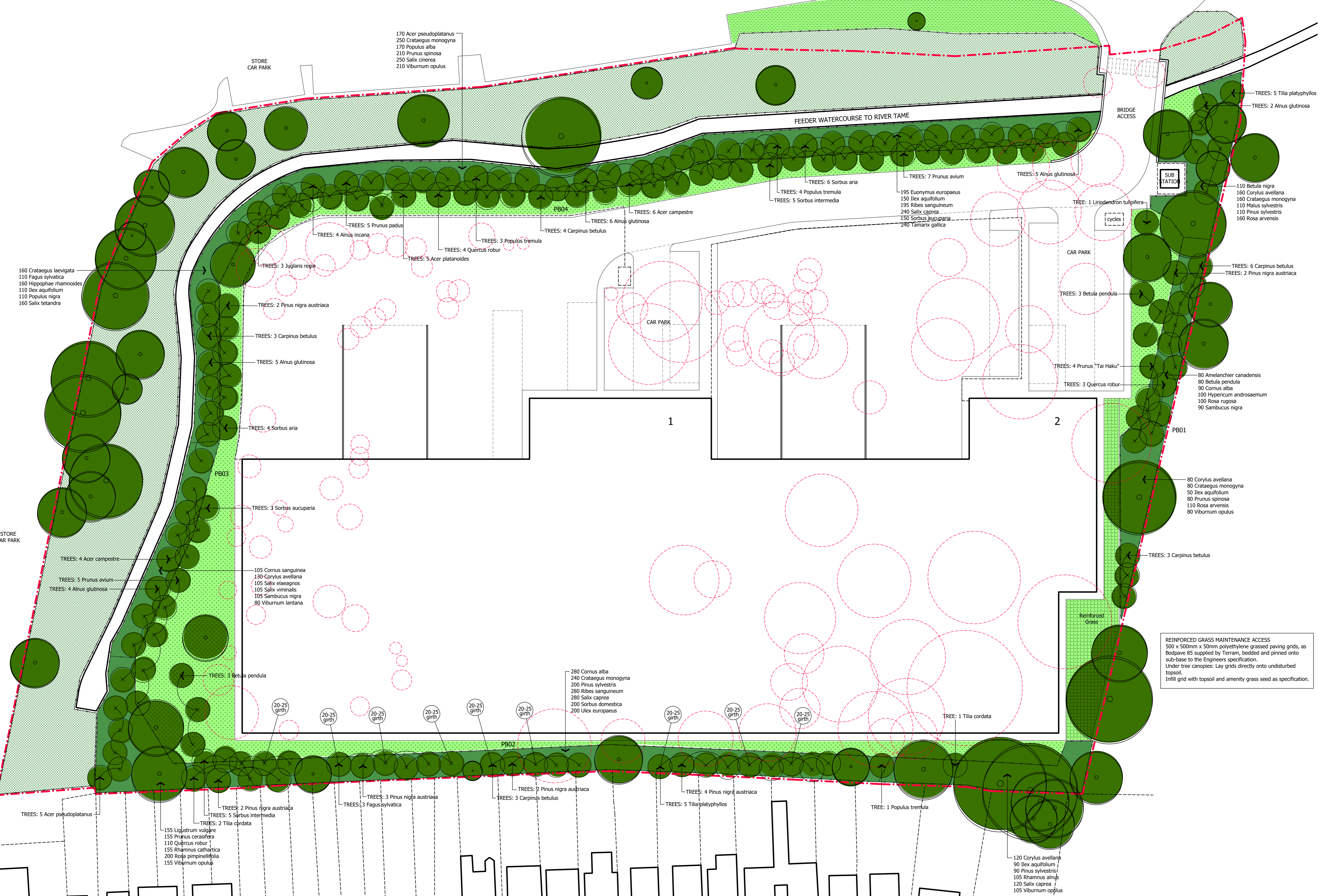
Reinforced Grass specification:
Seed Grass: Grade "A19", as supplied by Germinal, sown at a rate of 35 grams per sq.m. (01522-868714/ www.germinal.com)

RABBIT PROTECTION
Provide plastic spiral rabbit guards to all trees.

WATERPOINTS
1No. Waterpoint to be installed to meet the local Water Authority requirements: 25mm coupling set 300mm above ground level within lockable galvanised metal box on concrete foundation, separated from water supply with break valves.

MAINTENANCE
Defects Period for 52 weeks following Practical Completion.
Allow for 17 maintenance visits for watering, cutting, weeding, pruning and litter collection.

PROTECTION OF EXISTING TREES
Provide temporary protective fencing to be erected following tree works and prior to demolition and construction works. To be removed on completion of paving construction. No materials to be stored within the fenced area.
1.8m high weldmesh panels fixed by clamps to 2.4m long scaffold tubes rammed into the ground between each panel



PLANT SCHEDULES

TOTAL TREES	SIZE (girth)	FORM	SUPPORT	TREEPIT
10	14-16	Feathered	Oblique	1.0x1.0x0.75m deep
5	16-18	Clear Stem	Single	1.0x1.0x0.75m deep
5	12-14	Clear Stem	Single	1.0x1.0x0.75m deep
22	14-16	Clear Stem	Single	1.0x1.0x0.75m deep
4	16-18	Clear Stem	Single	1.0x1.0x0.75m deep
6	12-14	Feathered	Oblique	1.0x1.0x0.75m deep
17	16-18	Feathered	Oblique	1.0x1.0x0.75m deep
2	20-25	Clear Stem	Triple	1.2x1.2x0.9m deep
3	20-25	Feathered	Oblique	1.0x1.0x0.75m deep
3	18-20	Clear Stem	Triple	1.2x1.2x0.75m deep
1	25-30	Clear Stem	Triple	1.2x1.2x0.9m deep
15	2.0-2.2m ht.	Feathered	Oblique	1.0x1.0x0.75m deep
8	18-20	Clear Stem	Triple	1.2x1.2x0.75m deep
4	18-20	Clear Stem	Triple	1.2x1.2x0.75m deep
12	16-18	Clear Stem	Single	1.0x1.0x0.75m deep
5	16-18	Clear Stem	Single	1.0x1.0x0.75m deep
7	12-14	Feathered	Oblique	1.0x1.0x0.75m deep
10	14-16	Clear Stem	Single	1.0x1.0x0.75m deep
3	14-16	Clear Stem	Single	1.0x1.0x0.75m deep
9	16-18	Clear Stem	Single	1.0x1.0x0.75m deep
1	20-25	Clear Stem	Triple	1.2x1.2x0.9m deep
3	18-20	Clear Stem	Triple	1.2x1.2x0.75m deep
7	18-20	Clear Stem	Triple	1.2x1.2x0.75m deep
3	20-25	Clear Stem	Triple	1.2x1.2x0.9m deep

TOTAL SHRUBS	SIZE (cm)	POT (litre)	COMMENTS
80	60-80	3.0	Minimum 3 basal breaks
100	30-40	3.0	
400	2-0	2.0	Fully furnished with laterals
400	80-100	2 x rootballed	Feathered
475	40-60	2.0	
240	40-60	3.0	
200	30-40	3.0	

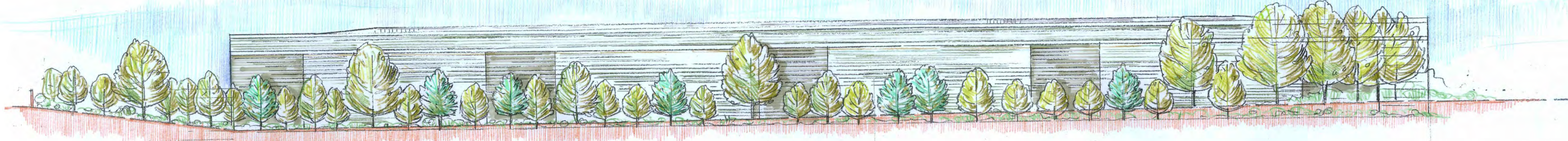
TOTAL TRANSPLANTS	SIZE (cm)	TYPE	COMMENTS
170	60-80	+1+	All transplants to be fully furnished
110	60-80	+1+	with laterals
80	60-80	+1+	
370	60-80	+2	
105	60-80	+2	
490	60-80	+2	
160	60-80	+1	
730	60-80	+1	
195	60-80	+2	
110	60-80	+1	
160	60-80	+2	
155	60-80	+1	
110	60-80	+1	
170	60-80	0/1	
110	60-80	0/1	
155	60-80	+1	
290	60-80	+1	
110	60-80	+1	
105	60-80	+1	
155	60-80	+1	
270	40-60	+1+0	
200	40-60	+1+0	
100	40-60	+1+0	
640	60-80	0/1	
250	60-80	0/1	
105	40-60	0/1	
160	60-80	0/1	
105	60-80	0/1	
195	40-60	+1+0	
150	60-80	+1	
200	60-80	+1	
80	40-60	+1	
550	40-60	+1	

REINFORCED GRASS MAINTENANCE ACCESS
500 x 500mm x 50mm polyethylene grassed paving grids, as Bodepave 85 supplied by Terram, bedded and pinned onto sub-base to the Engineer's specification.
Under tree canopies: Lay grids directly onto undisturbed topsoil.
Infill grid with topsoil and amenity grass seed as specification.

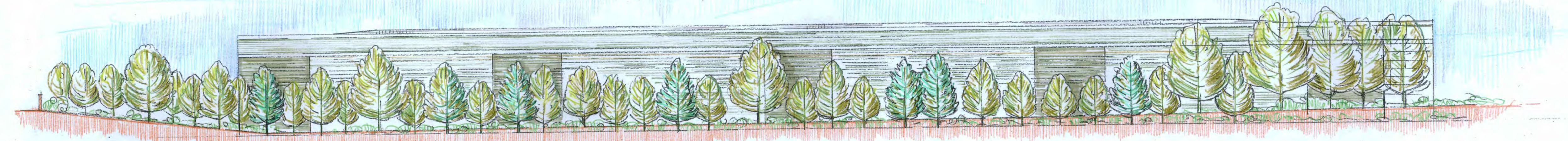
ASDA SITE, OLDBURY
PLANTING LAYOUT
Scale: 1:250 @ A0 Date: OCTOBER 2019
Drawing: 758.19.02
TAL TERRY ANDERSON LANDSCAPE ARCHITECTS
54 Kenilworth Avenue, Wimboldon, London SW19 7LW Tel: 020-8947 6859
info@terryanderson.co.uk

UNIT ONE

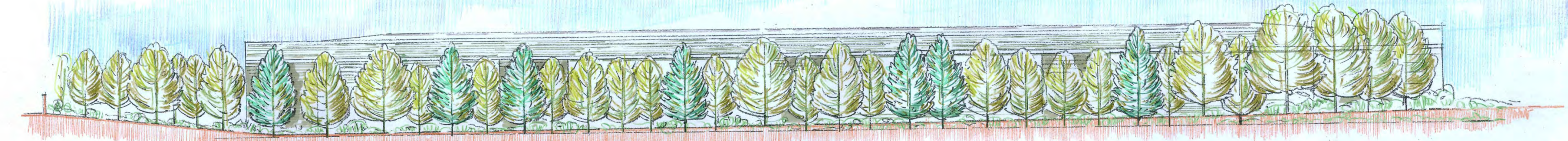
UNIT TWO



○ AT COMPLETION OF PLANTING SCHEME



○ 5 YEARS AFTER COMPLETION



○ 10 YEARS AFTER COMPLETION

- NOTES
- Elevations portrayed from the boundary to the Titford Road residential properties.
 - Proposed planting is at grade with the development levels

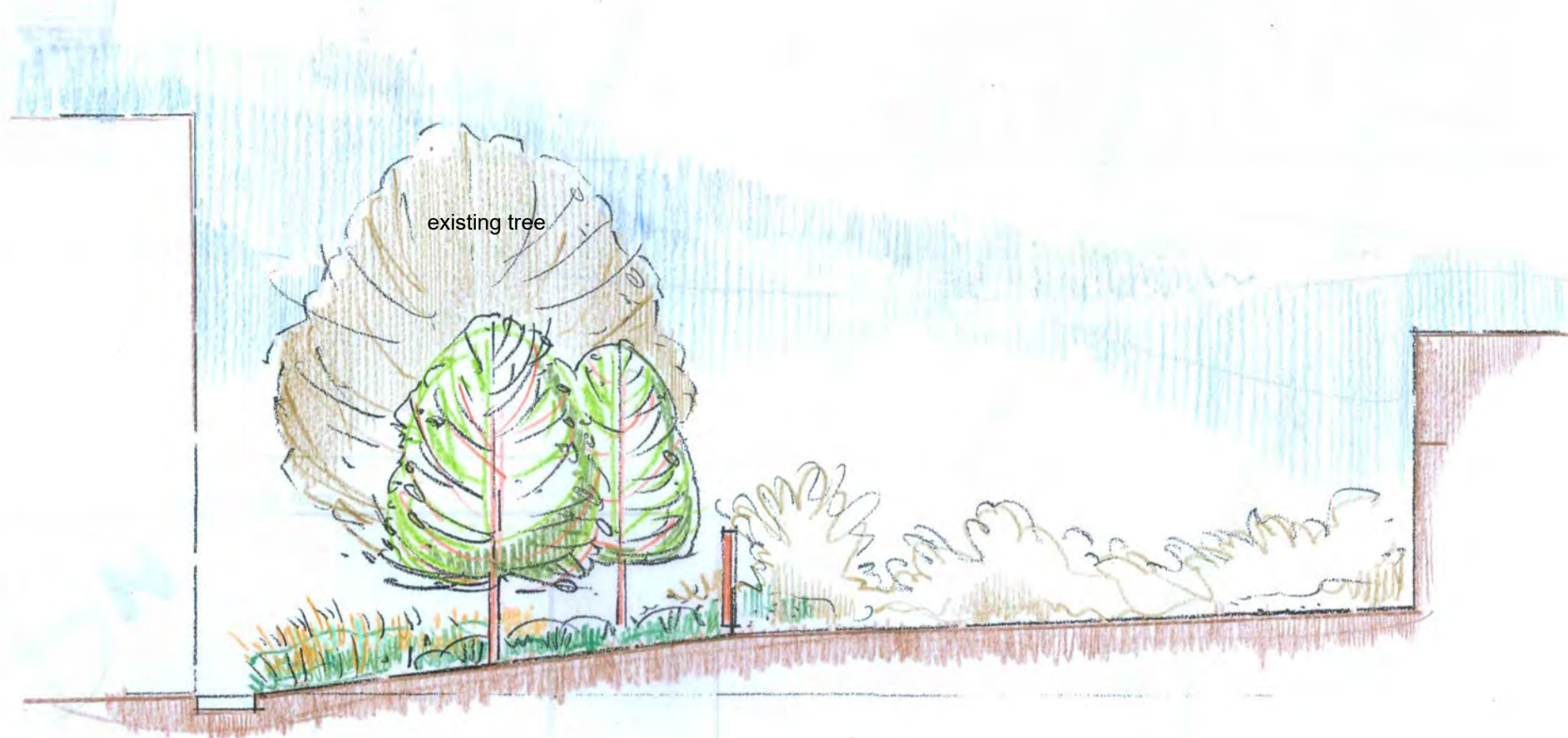


ASDA SITE, OLDBURY

SOUTHEAST BOUNDARY ELEVATIONS

Scale	not to scale	Date	SEPTEMBER 2019
Drawing	758.11.01	Revision	

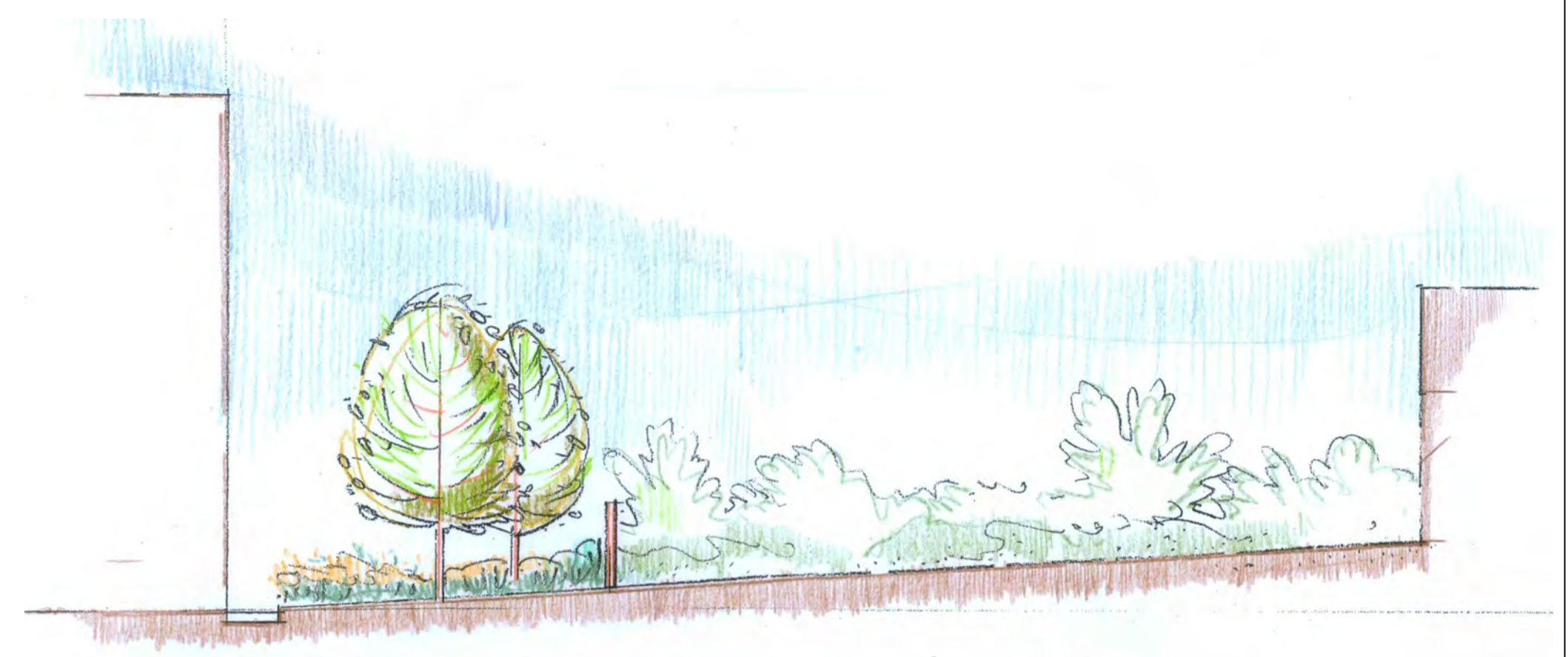
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 54 Kenilworth Avenue, Wimbledon, London SW19 7LW Tel: 020-8947 6859
 info@terryanderson.co.uk



○ ON COMPLETION OF THE SCHEME
SECTION A - A



○ ON COMPLETION OF THE SCHEME
SECTION B - B



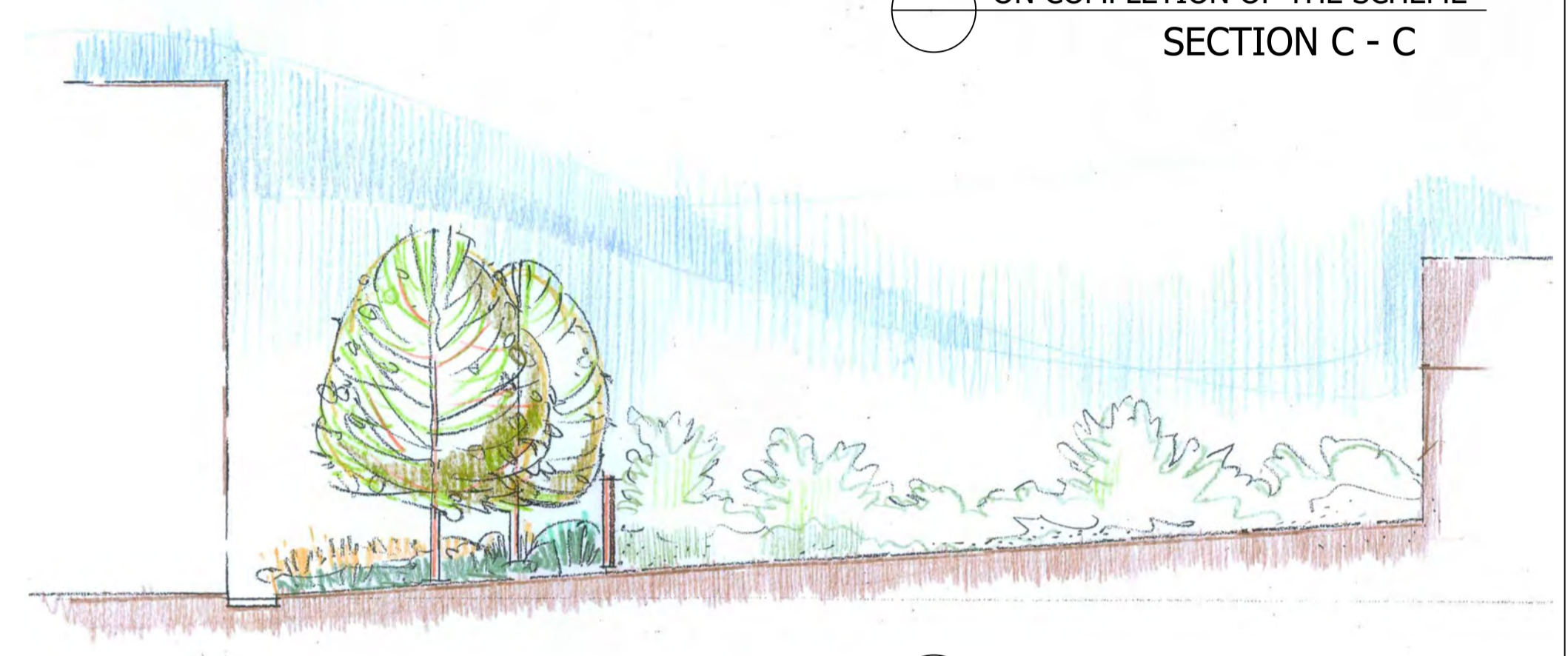
○ ON COMPLETION OF THE SCHEME
SECTION C - C



○ 5 YEARS AFTER COMPLETION
SECTION A - A



○ 5 YEARS AFTER COMPLETION
SECTION B - B



○ 5 YEARS AFTER COMPLETION
SECTION C - C



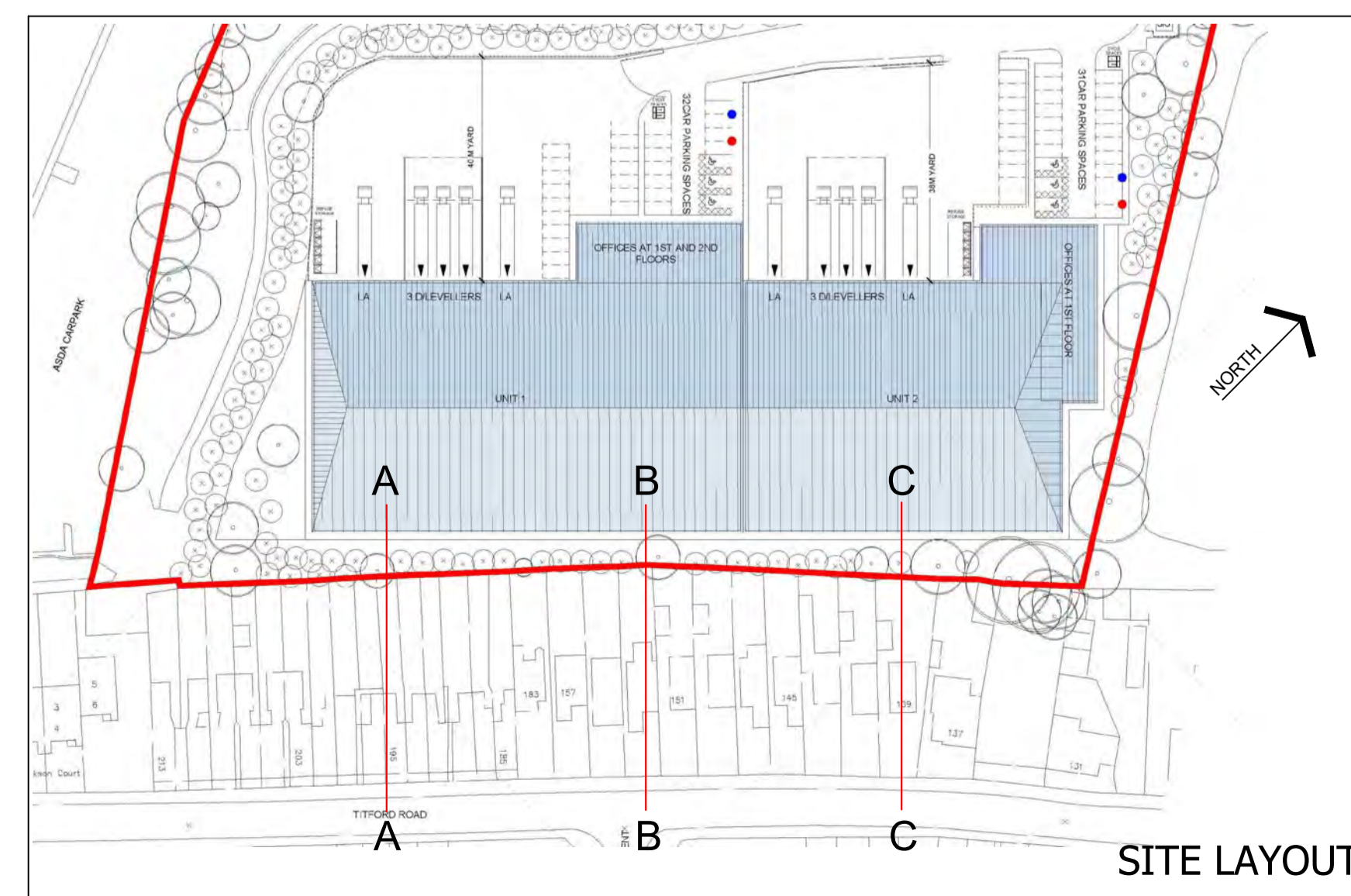
○ 10 YEARS AFTER COMPLETION
SECTION A - A



○ 10 YEARS AFTER COMPLETION
SECTION B - B



○ 10 YEARS AFTER COMPLETION
SECTION C - C



SITE LAYOUT

CANMOOR

ASDA SITE, OLDBURY

SOUTHEAST BOUNDARY SECTIONS

Scale not to scale Date OCTOBER 2019
Drawing 758.11.02 Revision

TALA TERRY ANDERSON LANDSCAPE ARCHITECTS
54 Kenilworth Avenue . Wimbledon . London SW19 7LW Tel: 020-8947 6859
info@terryanderson.co.uk

Stop the flattening of the Oldbury Wildlife Corridor to build Industrial Units
15K supporters

Petition details

Stop the flattening of the Oldbury Wildlife Corridor to build Industrial Units

21,439 have signed.

- michelle pearshouse signed 21 minutes ago
- Menu S-M signed 7 hours ago

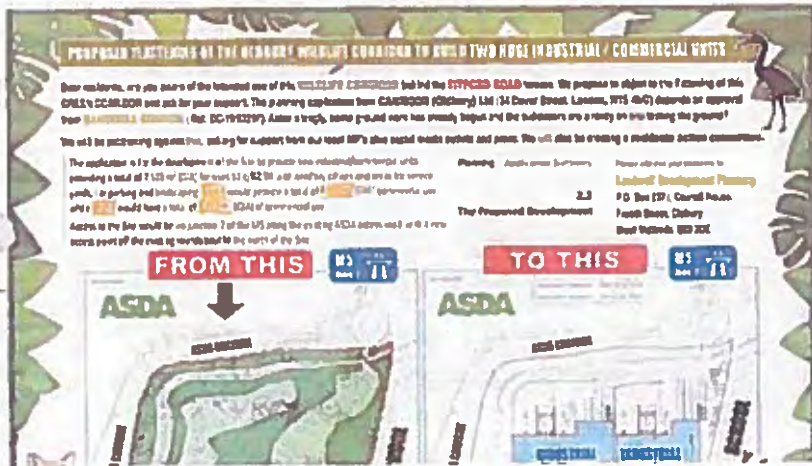
Sandwell MBC Planning Department: Stop the flattening of...

Share on Facebook

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- Copy link

Show this petition to more potential supporters

Promote this petition



Philip Shakespeare started this petition to Sandwell MBC Planning Department and 1 other

FLATTENING OF THE OLDBURY 'GREEN' CORRIDOR (Ref. DC/19/63297)

As a resident who is situated within walking distance of the M5, Junction 2 and various different factories / industrial estates, we are already subjected to high levels of air pollution. I could reference hundreds of research papers that conclude that greenery significantly improves air quality in built up areas. Therefore, in a time where we are more environmentally conscious than ever, I am appalled at the planning application to Sandwell MBC to allow Canmoor (Oldbury) Ltd (which is actually in London) working on behalf of ASDA (Oldbury) to destroy this green corridor and build an industrial unit the size of a football pitch in its place. I argue that your rationale demonstrates an utter disregard for, not only the residents, but also the wildlife that inhabit this space and have done for hundreds of years.

This demonstrates a clear lack of respect you have for the residents, the impact on already over congested roads and more importantly the hundreds of species of wildlife effected by this decimation.

"WITHOUT A HABITAT THERE IS NO WILDLIFE"



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Fight to save woodland

Nearly 20,000 people have backed a petition calling on Sandwell Council to throw out plans for a "football pitch-sized" industrial unit on vital green space.

The petition was started just over a week ago but has since amassed almost 19,000 signatures.

Campaigners are protesting against plans to flatten the Oldbury wildlife corridor - which developers want to build new warehouses on. Plans have been lodged with Sandwell Council to build the two units, which would be used for storage and distribution, on the privately-owned land next to the Asda supermarket. But residents have raised fears the proposed development would destroy vital wildlife habitats.

Phil Shakespeare, who launched the petition, said: "We are really pleased with the response to the petition - we had been hoping for 1,000 to 2,000 signatures tops, but it seems to have gone viral. The petition is a little focus in a little area on a much wider issue. One day we will wake up and our children will have no green spaces left.

"It is protecting the green spaces we have left. It is heartbreaking to think it could be turned into concrete. We have got until the end of this week to hand the petition into the council. Then the proposals should be up at planning committee in October.

"We need to keep up the pressure. We



Part of the woodland in Oldbury, which is situated behind the Asda store

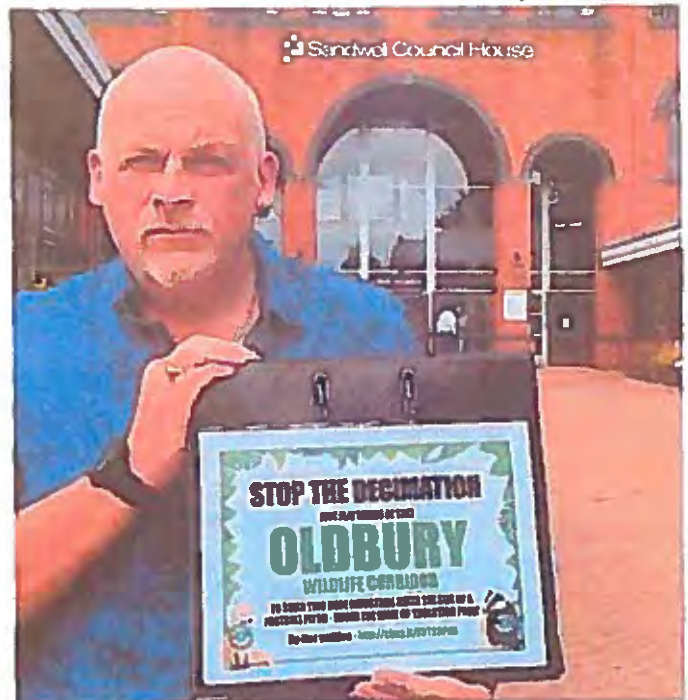
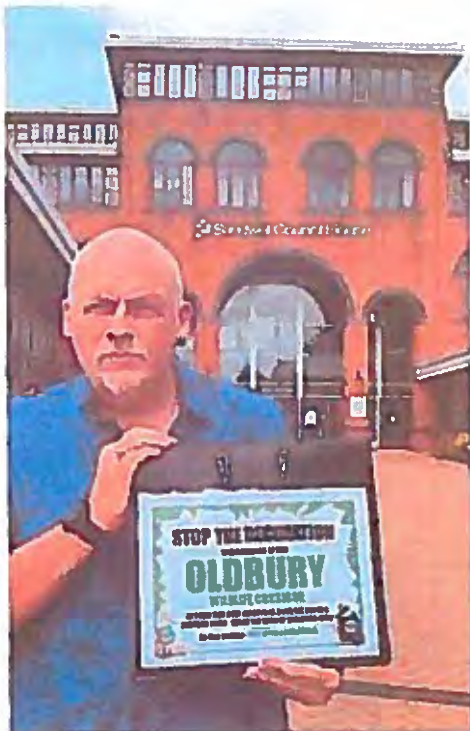
will continue to fight this." Local resident Val Stephenson said there were plenty of other sites more suitable for the industrial units.

She said: "There are more than enough empty warehouses in Oldbury. If one is needed, why not use the old Toys R Us site. Save the wildlife and green spaces." Tracey

Pye added: "This is totally depressing. It's a tiny sanctuary for wildlife in this over-developed part of Sandwell."

The woodland is located off Wolverhampton Road between the Asda superstore and Langley Primary School. A decision on the plans is expected in the coming months.

Friday 30th August 2019



B Black Country • Asda

Campaigners call for boycott of Asda in Oldbury over industrial unit plans

Residents of Titford Road are calling on people to boycott Asda in Oldbury in protest at plans to build two industrial units of 7,503 square on land adjacent to the supermarket

SHARE     

By **George Makin** Local Democracy Reporter
17.21. 30 AUG 2019



Asda on Wolverhampton Road, Oldbury (Image: Google)



Oldbury wildlife corridor

Campaigners fighting a controversial plan to build on what they claim is a wildlife corridor have said they are going to take their fight to the supermarket giant which owns the land.

Residents of Titford Road are calling on people to boycott Asda in Oldbury in protest at plans by London-based Canmoor Ltd to build two industrial units of 7,503 square on land adjacent to the supermarket and owned by the retail company.

B READ MORE

Shock after residents wake to find bulldozers on land near their homes

The move comes after an estimated 200 people attended a public meeting opposed to the scheme and 20,000 more signed an online petition objecting to the proposal.

Phil Shakespeare, a local campaigner, says opponents of the scheme now plan to launch a social media campaign aimed at shoppers with the hashtag #boycottasda.

Claiming the development would destroy a valuable wildlife habitat which is home to badgers, foxes and bats, he said: "Residents on Titford Road have said they won't shop at Asda and we are now looking to use the three most popular Facebook websites in the area to urge people not to use the store."

Asda has confirmed it owns the land but says it is not linked to the plans which would cover an area the size of two football pitches and include warehousing, car parking, a service yard and loading docks.

In a statement accompanying the planning application, Canmoor Ltd said: "The proposed development will make efficient and effective use of the site and create additional employment floorspace, attracting investment to and creating jobs in the borough."

Sandwell Council's planning committee is expected to make a decision on the plans in October.

Like us on Facebook

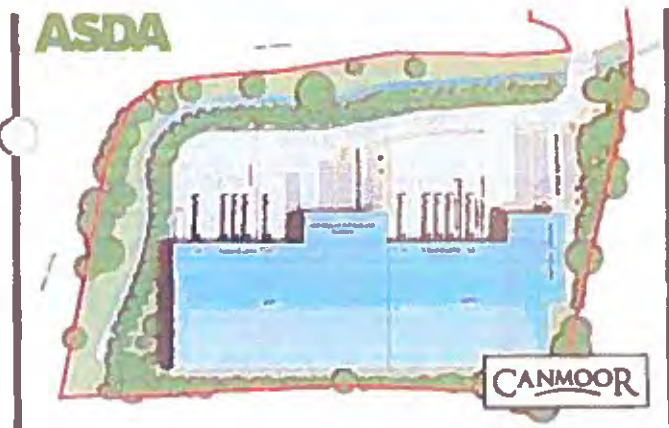


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Fury as developer advertises for tenants BEFORE getting planning permission

By News Group reporter



Fury as developer advertises for tenants BEFORE getting planning permission
Plans for industrial development on land to the rear of Titford Road Oldbury.

Pic: Sandwell council planning department.

CAMPAIGNERS fighting a proposed distribution centre on green space in Oldbury are furious that developers are advertising for tenants before it has been given planning permission.

Objectors have said they are in a David and Goliath fight to protect the land, which is home to badgers, foxes and bird species such as common buzzards and which helps mitigate air pollution from the nearby M5.

The advertising has further incensed residents of Titford Road who only learned of the proposal three weeks ago when bulldozers moved on to the land to begin ground testing.

London based Canmoor Ltd has submitted plans to Sandwell Council for two industrial units of 7,503 square metres with car parking, a service yard and loading docks.

Since the proposal was published last week, over 1,100 people have signed an on-line petition opposing the development which protestors say would destroy a wildlife corridor.



To view the petition, search for 'Oldbury Wildlife Corridor' on www.change.org.

Lead campaigner, Phil Shakespeare, says the developers are now advertising the site as suitable for industrial and distribution companies before it has gone to Sandwell Council for formal approval.

He said: "I'm outraged - bearing in mind that the residents were even notified before work took place - to find this green corridor is being advertised for let as if it's a done deal and the wildlife area has already been flattened.

"We are trying to prevent this area being turned into concrete and to highlight to people that green zones are getting less and less and disappearing.

"I always thought that green spaces were protected. It is surprising to me that businesses as far away as London can sell them even before we can acknowledge the fact that they are threatened."

He said Sandwell Council had been inundated with objections to the scheme, adding: "I think this is a case of David and Goliath and I'm worried that big business will stamp all over local residents."

Canmoor Ltd has been contacted for comment.

CANMOOR

In a statement accompanying the planning application, Canmoor Ltd said: "The proposed development will make efficient and effective use of the site and create additional employment floorspace, attracting investment to and creating jobs in the borough."

Before **YOU FLATTEN** the **OLDBURY WILDLIFE CORRIDOR**
CAN WE SUGGEST *you utilise all these near-by* **EMPLOYMENT** zones?



SEVEN STARS ROAD



<http://chnp.it/BhTGBFd6>

WITHOUT HABITAT WE HAVE NO WILDLIFE





Dateline - 23rd August 2019

CAMPAIGN TO STOP THE FLATTENING OF THE OLDBURY WILDLIFE CORRIDOR



**"We don't own
the planet
Earth, we
belong to it.
And we must
share it with
our wildlife."**

- Steve Irwin

On-line petition - <http://chng.it/RhTGBFd6>





Dateline - 10th September 2019



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FIZZY FUNDRAISER

ABIGAIL'S GIFT TO ACORNS - PAGE 4



DON'T PANIC!

A-LEVEL RESULTS ADVICE - PAGE 6



HUNDREDS SIGN UP TO SAVE OPEN LAND

Report by Dayna Farrington

MORE than 1,000 people have signed a petition against proposals to build two industrial units on land behind an Oldbury supermarket.

Plans have been lodged with Sandwell Council to build the units, which would be used for storage and distribution, on the privately-owned land next to Aude. But residents have raised fears the proposed development would destroy wildlife habitats - and a petition launched just over a week ago has so far attracted 1,179 signatories.

Phil Bhattacharya, who launched the petition, said the development would be built at the back of people's homes.

The woodland is located off Wolverhampton Road between Aude and Langley Primary School and is near the M5, which runs on a bridge close by.

Mr Bhattacharya said: "Myself and fellow residents from Tetford Road will be directly affected by these proposals. As a collective group, we decided to start the petition against the plans."

"We have been overwhelmed with the response from people."

"We have got an ecology report which has highlighted that there is protected bats, foxes, badgers, hares and buzzards living in the wildlife corridor."

"It will also be the destruction of all the forest area which filters fumes from the M5 which will be turned into concrete."

"Our petition will be handed into the council before it makes its formal decision later this year."

"We just want to highlight to people what is going on."

A design and access statement, submitted with the application, states: "The proposal is for two industrial units with the associated revised access, parking and landscaping."

A spokesman from Sandwell Council previously said: "A planning application has been submitted for two industrial storage/distribution units."

"Residents will be receiving consultation letters giving them the opportunity to put any comments or objections in writing."

"The land is not green belt but is allocated for employment."

The day I entered Londonderry



George Green was among the first soldiers sent to Northern Ireland in a move that opened decades of conflict

It is 50 years since British troops were sent to the streets of Northern Ireland - and George Green was among the first to walk the streets. The pensioner, 78, was in the first group of Brit-

ish Army soldiers tasked with breaking up a riot and restoring peace. He was initially stationed in the midst of the violence in

Londonderry where clashes involving nationalists, unionists and the police had been going on for three days. He said: "We were in at the deep end. You didn't know who was friend or foe."

NEWS BRIEFING

Crews rescue man from canal

A man has been rescued from a canal in Oldbury

Firefighters and paramedics were called to the Tetford Canal at Tet Bank Road at around 10.15pm on Monday night.

Fire crews from Oldbury, Woodgate Valley and Wednesbury helped rescue the man from the water.

He was then treated by paramedics and taken to Sandwell Hospital for further assessment.

A spokesman for West Midlands Ambulance Service said: "We were called to reports of a patient in the water, near to Tet Bank Road, at 10.15pm."

"One ambulance, a senior paramedic, a paramedic officer and our Hazardous Area Response Team attended the scene."

"On arrival we discovered one patient, a man, who was still in the water."

"Ambulance staff worked with the fire service to rescue the man."

"He was treated for injuries not believed to be serious before being taken to Sandwell Hospital."

POLICE

Shop and home in link to kidnap probe

A shop and home in Staffordshire were sealed off by police investigating the disappearance of a Vietnamese tourist.

A house on St James Road and 11 Dale UK mall bar on Mill Street, both Cannock, were cordoned off yesterday after 16-year-old tourist Linh Thi Dieu Lu disappeared in York. She has now been found safe.

A man and a woman were arrested in Staffordshire in connection with the alleged abduction. Another man Ho Quang Hien, aged 25, has been charged with child abduction and facilitating a breach of immigration laws. He appeared at York Magistrates' Court on Monday and entered a not guilty plea. He will appear at York Crown Court on September 16 for trial.

SUPPORT

Julie backs hospice

Dame Julie Walters is urging people to support a £5 million fundraising campaign to move across children's hospices in Walsall from closure. The Black Country-born actress is the latest celebrity to throw her support behind the appeal.

© Fight - Page 4

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visitors from the camp that reached their drugs, firearms, vehicles and money launderer... viceroy a viable foreign, and 27th in drugs

Petition launched as bulldozers arrive on wildlife corridor

Residents up in arms

over warehouse plan

Report by Georgina Cutler
newswatch@nmanmedia.co.uk

A PLANNING application for two industrial units on a green corridor in Oldbury has sparked anger from residents.

Plans have been lodged with Sandwell Council to build the units, which would be used for storage and distribution, on privately owned land behind Asda.

There are fears the proposed development would destroy vital wildlife habits.

Residents reported that bulldozers arrived on site last week after the plans were submitted by London based firm Canmoor Ltd earlier this month.

However Sandwell Council has not yet made a decision on the planning application, which will be discussed at an upcoming meeting.

Resident Phil Shakespeare plans to launch a petition and wants to get Warley MP John Spellar and Langley ward councilors involved.

Mr Shakespeare, aged 50, told the Express & Star: "They have already started bulldozing the site. I predict that thousands will sign the petition. They (the developers) want to squash the lot (trees) and build two huge industrial units in its place."

"The industrial units will be built at the foot of people's homes. But the trees help to cut the fumes from the M6 and provide a home for wildlife."

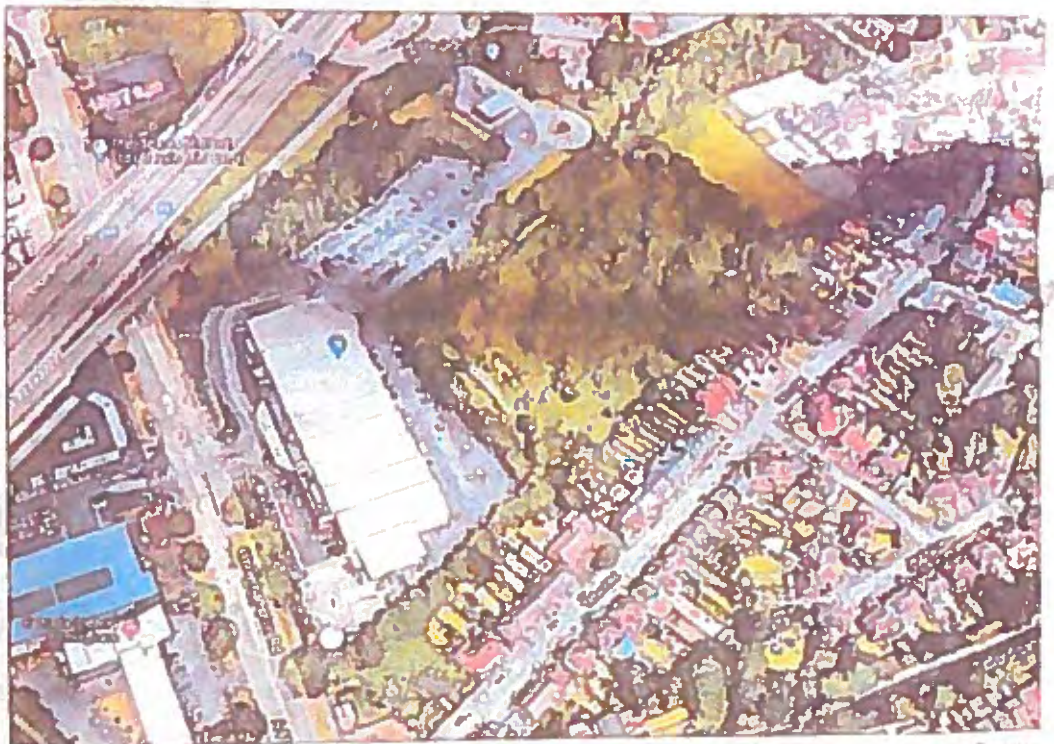
The woodland is located off Wolverhampton Road between the Asda superstore and Langley Primary School and is near to the M5, which runs on a bridge close by.

According to a document, the planning application is for two "modern employment sites" which will cover an area of 7,603 sq m - larger than a professional football pitch. The proposed development would include offices and a car park. The public can object to the application by August 14.

A council spokesperson said: "A planning application has been submitted for two industrial storage and distribution units. Residents will be receiving consultation letters."

"Clearing the site does not constitute the start of development and the council has no authority to stop this under planning law. The land is not green belt but is allocated for employment."

"An ecology report has been submitted as part of the application."



The site where the storage and distribution units could be built if controversial plans are agreed. Picture: Google


itv NEWS CENTRAL

Friday 18th August 2018





CALLING ALL LOCAL RESIDENTS
 YOU ARE INVITED TO A MEETING ON
Thursday 22nd AUGUST 2019
 TO DISCUSS THE PROPOSED FLATTENING OF THE
OLDBURY WILDLIFE CORRIDOR
 TO BUILD TWO HUGE INDUSTRIAL UNITS THE SIZE OF A
 FOOTBALL PITCH - UNDER THE NAME OF 'EVOLUTION PARK'
 Starts at 8pm - Representatives from Sandwell Council will be in attendance
 Crosswells Inn Pub, Whyley Walk, Oldbury B69 4SB



News

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Nearly 20,000 sign petition against plans for industrial units in Oldbury

By Dayna Farrington | Oldbury Property | Published 15 hours ago

28th August 2019

Nearly 20,000 people have backed an online petition calling on Sandwell Council to throw out plans for a 'football pitch-sized' industrial unit on vital green space.



An aerial view showing the woodland where the development is proposed. Photo: Google Maps

The petition was launched just two weeks ago but has since amassed thousands of signatures and is currently standing at around 18,990.

Campaigners are protesting against plans to flatten the Oldbury wildlife corridor - which developers want to build new warehouses on.

The plans have been lodged with Sandwell Council to build the units, which would be used for storage and distribution, on the privately-owned land next to the Asda supermarket.

The woodland is located off Wolverhampton Road between the Asda superstore and Langley Primary School and is near to the M5, which runs on a bridge close by.

Phil Shakespeare, who launched the petition, said: "We are really pleased with the response to the petition - we had been hoping for 1,000 to 2,000 signatures tops, but it seems to have gone viral."



"The petition is a little focus in a little area on a much wider issue. One day we will wake up and our children will have no green spaces left.

"It is protecting the green spaces we have left. It is heartbreaking to think it could be turned into concrete.

"We have got until the end of this week to hand the petition into the council. Then the proposals should be up at planning committee in October.

"We need to keep up the pressure. We will continue to fight this."

A design and access statement, submitted with the application, states: "The proposal is for two industrial units with the associated revised access, parking and landscaping

"The service yards are located to the north west of the units and include three loading docks and two level access doors adjacent to sides of the loading docks respectively. The service areas includes the HGV parking spaces and allows enough space for vehicle manoeuvring

"The car parking, including the accessible parking bays and the cycle and motorcycle parking is provided near the office components. There are 63 parking spaces provided in total for the development."

Sandwell Council's planning committee is expected to make a decision on the plans in the coming months.

To view the petition, search for 'Oldbury Wildlife Corridor' on www.change.org.

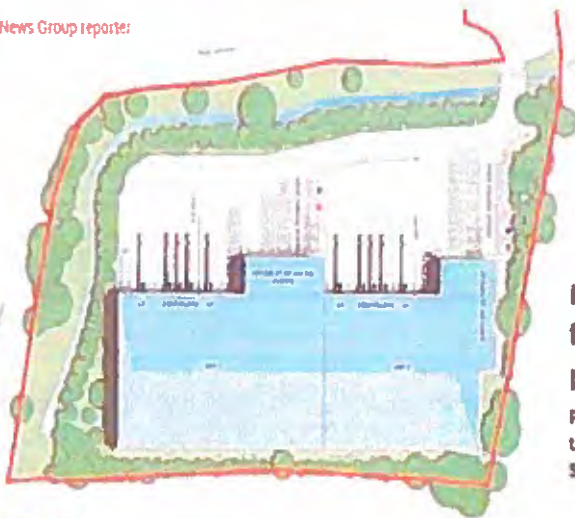


By Dayna Farrington
Senior reporter based at Wolverhampton
Reporter for the Express & Star based at Wolverhampton

19th August

Fury as developer advertises for tenants BEFORE getting planning permission

By News Group reporter



Fury as developer advertises for tenants BEFORE getting planning permission

Plans for industrial development on land to the rear of Titford Road Oldbury. Pic: Sandwell council planning department.



f t in e 1 comment

CAMPAIGNERS fighting a proposed distribution centre on green space in Oldbury are furious that developers are advertising for tenants before it has been given planning permission.

Objectors have said they are in a David and Goliath fight to protect the land, which is home to badgers, foxes and bird species such as common buzzards and which helps mitigate air pollution from the nearby M5.

The advertising has further incensed residents of Titford Road who only learned of the proposal three weeks ago when bulldozers moved on to the land to begin ground testing.

London based Canmoor Ltd has submitted plans to Sandwell Council for two industrial units of 7,503 square metres with car parking, a service yard and loading docks.

Since the proposal was published last week, over 1,100 people have signed an on-line petition opposing the development which protestors say would destroy a wildlife corridor.

To view the petition, search for 'Oldbury Wildlife Corridor' on www.change.org.

Lead campaigner, Phil Shakespeare, says the developers are now advertising the site as suitable for industrial and distribution companies before it has gone to Sandwell Council for formal approval.

He said: "I'm outraged – bearing in mind that the residents were even notified before work took place – to find this green corridor is being advertised for let as if it's a done deal and the wildlife area has already been flattened.

"We are trying to prevent this area being turned into concrete and to highlight to people that green zones are getting less and less and disappearing.

"I always thought that green spaces were protected. It is surprising to me that businesses as far away as London can sell them even before we can acknowledge the fact that they are threatened."

He said Sandwell Council had been inundated with objections to the scheme, adding: "I think this is a case of David and Goliath and I'm worried that big business will stamp all over local residents."

Canmoor Ltd has been contacted for comment.

Local News

BIRMINGHAM POST

Campaigners incensed as developers jump the gun

CAMPAIGNERS fighting a proposed distribution centre on green space in Oldbury are furious that developers are advertising for tenants before it has been given planning permission.

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Lead campaigner Phill Speaksepare says the developers are now advertising the site as suitable for industrial and distribution companies - before it has gone to Sandwell Council for formal approval.

He said: "I'm outraged - bearing in mind the residents were even notified before work took place - to find this green corridor is being advertised for let as if it's a done deal.

"We are trying to prevent this area being turned into concrete.

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He said: "I think this is a case of David and Goliath and I'm worried that big business will stamp all over local residents."

Canmoor Ltd has been contacted for comment.



15th August 2019



PC Harrison
WILDLIFE
welfare officer

So, your log number for this is 1770 of 29/07/19
I will email PC Harrison and ask her to contact you

Matt Cromwell at 16:09, Jul 29

Huge response to protest against plans to 'destroy' Oldbury wildlife haven

Bats, badgers and birds have all made themselves at home in woodland behind Asda in Wolverhampton Road, Oldbury

A wildlife haven could be 'destroyed' to make way for two huge industrial units - and people are not happy.

Bats, badgers and birds have all made themselves at home in woodland behind Asda in Wolverhampton Road, Oldbury.

But London-based firm Canmoor Ltd has applied to Sandwell Council to build the storage and distribution units in the middle of the privately-owned land, just off the M5.

The application acknowledges the site is part of a 'wildlife corridor' - so developers have vowed to create landscaped areas and keep as many of the existing trees as possible, especially those with potential for bat roosting.



"The trees take most of the fumes away and reduce the traffic noise and noise from the Asda supermarket.

"It is home to a lot of wildlife, including a pair of mated buzzards, bats, herons and badgers."

Mr Shakespeare told [Black Country Live](#): "I think it's absolutely disgusting, they shouldn't be allowed to do this.

"I have contacted Bill Oddie and Chris Packham because they might add weight to my argument."

A spokesman for [Sandwell Council](#) told Black Country Live: "Clearing the site does not constitute the start of development and the council has no authority to stop this under planning law.





Oldbury wildlife corridor

Additionally, 163 new trees will be planted to fully surround the development and a "buffer zone" will be created - with a range of trees and shrubs - to act as screening for nearby residential properties.

However residents remain outraged - especially as work to clear the site has already begun - and Phil Shakespeare has launched a petition in a desperate bid to stop the plans.

The petition, which has already gained more than 4,000 signatures, reads: "We do not want the land to be destroyed and built on as the removal of the trees and greenery will remove the filter that we have from the motorway and other traffic pollution in the area.



At least five foxes were photographed on the site (Image: Phil Shakespeare)

"The land is not green belt but is allocated for employment. An ecology report has been submitted as part of the planning application, which will be considered by the planning committee due to the volume of objections received."

Residents who would like to find out more about the proposed development have been invited to a meeting at 8pm tonight (Thursday, August 22), at the Crosswells Inn, in Whyley Walk, Oldbury, to discuss the plans.

Alison Bishop from Sandwell Council's planning department and Councillor Bill Gavan are expected to attend.



SANDWELL COUNCIL

Repeatedly keep quoting to the press that the **OLDBURY WILDLIFE CORRIDOR** is *“allocated for employment”* **CAN WE RESPECTIVELY SUGGEST** *“you allocate employment HERE first !!!”*

FIZZY FUNDRAISER A BIG-10'S GIFT TO 400FK
DON'T PANIC! A LIVELIQUOR'S ADVICE

HUNDREDS SIGN UP TO SAVE OPEN LAND

Crews rescue man from canal
 A man has been rescued from a canal in Sandwell after he fell in while working on a canal bank. The man was taken to hospital with injuries and is expected to make a full recovery.

Petition for Mylee's Law
 A petition has been signed by hundreds of people in Sandwell to support the introduction of Mylee's Law. The law would require developers to provide a minimum of 10% of the land to be developed to be set aside as open space for the benefit of the community.



“The land is not green belt but is allocated for employment. An ecology report has been submitted as part of the planning application, which will be considered by the planning committee if objections are received.”

<http://chnq.it/BhT6Bfd6>

BEFORE FLATTENING the HABITAT of 1000's of ANIMALS !!

SANDWELL COUNCIL - OLDBURY

Empty / Abandoned / For sale & 'To lets'

Before **FLATTENING** the **OLDBURY WILDLIFE CORRIDOR**

CAN WE SUGGEST *you utilise all the near-by* **BROWN SITES** *first?*



BIRCHLEY ISLAND



CHURCHBRIDGE



SEVEN STARS ROAD



PARK STREET



FOUNTAIN LANE



<http://chnng.it/RhTGbf6>

WITHOUT HABITAT WE HAVE NO WILDLIFE

14th August 2019

SANDWELL
Express & Star

HUNDREDS SIGN UP TO SAVE OPEN LAND

Report by Dayna Farrington

MORE than 1,000 people have signed a petition against proposals to build two industrial units on land behind an Oldbury supermarket.

Plans have been lodged with Sandwell Council to build the units, which would be used for storage and distribution, on the privately-owned land next to Asda. But residents have raised fears the proposed development would destroy wildlife habitats – and a petition launched just over a week ago has so far attracted 1,179 signatures. Phil Shakespeare, who launched the petition, said the development would be built at the back of people's homes.

The woodland is located off Wolverhampton Road between Asda and Langley Primary School and is near the M5, which runs on a bridge close by.

Mr Shakespeare said: "Myself and fellow residents from Titford Road will be directly affected by these proposals. As a collective group, we decided to start the petition against the plans.

"We have been overwhelmed with the responses from people.

"We have got an ecology report which has highlighted that there is protected bats, foxes, badgers, herons and buzzards living in the wildlife corridor.

"It will also be the decimation of all the forest area which filters fumes from the M5 which will be turned into concrete.

"Our petition will be handed into the council before it makes its formal decision later this year.

"We just want to highlight to people what is going on."

A design and access statement, submitted with the application, states: "The proposal is for two industrial units with the associated revised access, parking and landscaping."

A spokesman from Sandwell Council previously said: "A planning application has been submitted for two industrial storage/distribution units.

"Residents will be receiving consultation letters giving them the opportunity to put any comments or objections in writing.

"The land is not green belt but is allocated for employment."



28th August 2019

SANDWELL Express & Star

WE WILL FIGHT TO SAVE LAND

Report by Megan Archer

NEARLY 20,000 people have backed a petition calling on Sandwell Council to throw out plans for a "football pitch-sized" industrial unit on vital green space.

The petition was started just over a week ago but has since amassed almost 19,000 signatures.

Campaigners are protesting against plans to flatten the Oldbury wildlife corridor - which developers want to build new warehouses on. Plans have been lodged with Sandwell Council to build the two units, which would be used for storage and distribution, on the privately-owned land next to the Asda supermarket. But residents have raised fears the proposed development would destroy vital wildlife habitats

Phil Shakespeare, who launched the petition, said: "We are really pleased with the response to the petition - we had

been hoping for 1,000 to 2,000 signatures tops, but it seems to have gone viral. One day we will wake up and our children will have no green spaces left.

"It is protecting the green spaces we have left. It is heartbreaking to think it could be turned into concrete. We have got until the end of this week to hand the petition into the council.

"We need to keep up the pressure. We will continue to fight this."

Local resident Val Stephenson said there were plenty of other sites more suitable for the industrial units.

She said: "There are more than enough empty warehouses in Oldbury. If one is needed, why not use the old Toys R Us site. Save the wildlife and green spaces."

The woodland is located off Wolverhampton Road between the Asda superstore and Langley Primary School. A decision on the plans is expected in the coming months.



CAMPAIGN AGAINST THE WAREHOUSE DEVELOPMENT - OLDBURY GREEN CORRIDOR

ASDA
STILL OWN THE LAND



26. Ownership Certificates and Agricultural Land Declaration

Name of Owner/Agricultural Tenant	McLagan Investments Ltd
Number	
Suffix	
House Name	ASDA House
Address line 1	Southbank
Address line 2	Great Wilson Street
Town/city	Leeds
Postcode	LS11 5AD
Date notice served (DD/MM/YYYY)	02/07/2019

On-line petition
<http://chn9.it/RhTGBFd6>



Companies CANMOOR (OLDBURY) LIMITED

CANMOOR

Company Number: 1137224
 Name: CANMOOR (OLDBURY) LIMITED
 Incorporation on: 23 May 2018 (Wednesday)
 Company Type: Private Limited Company
 Status: Active
 Business Activity: Management Of Real Estate On A Fee Or Contract Basis
 Registered Address: 34 DOVER STREET LONDON UNITED KINGDOM W1S 4NG
 Country of Origin: United Kingdom

Companies MCLAGAN INVESTMENTS LIMITED

MCLAGAN
George. ASDA

Company Number: 02127156
 Name: MCLAGAN INVESTMENTS LIMITED
 Incorporation on: 30 April 1987 (Thursday)
 Company Type: Private Limited Company
 Status: Active
 Business Activity: Development Of Building Projects
 Registered Address: ASDAHOUSE SOUTHBANK GREAT WILSON STREET LEEDS LEEDS

How can a **LONDON BUSINESS** be able to advertise our **WILDLIFE CORRIDOR** as **'TO LET'** before its even supposedly been **PASSED** by **SANDWELL COUNCIL**



Prime site for D&B requirements
34,000 sq ft – 70,000 sq ft **TO LET**

evolution park

DESCRIPTION
The site comprises approximately 1.1 acres of undeveloped land, which is to be developed for a new business premises and for storage and distribution of goods. The site is located on Oldbury, approximately 7 miles north of Sandwell and adjacent to an A166. The site is bounded to the north by the A166 and to the south by the A166. The site is bounded to the east by the A166 and to the west by the A166.

LOCATION
The site is located on Oldbury, approximately 7 miles north of Sandwell and adjacent to an A166. The site is bounded to the north by the A166 and to the south by the A166. The site is bounded to the east by the A166 and to the west by the A166.

OFFICE USE

PLANNING PERMISSIONS
The site is currently zoned as a B1 (Business) and is suitable for a B1 (Business) use.

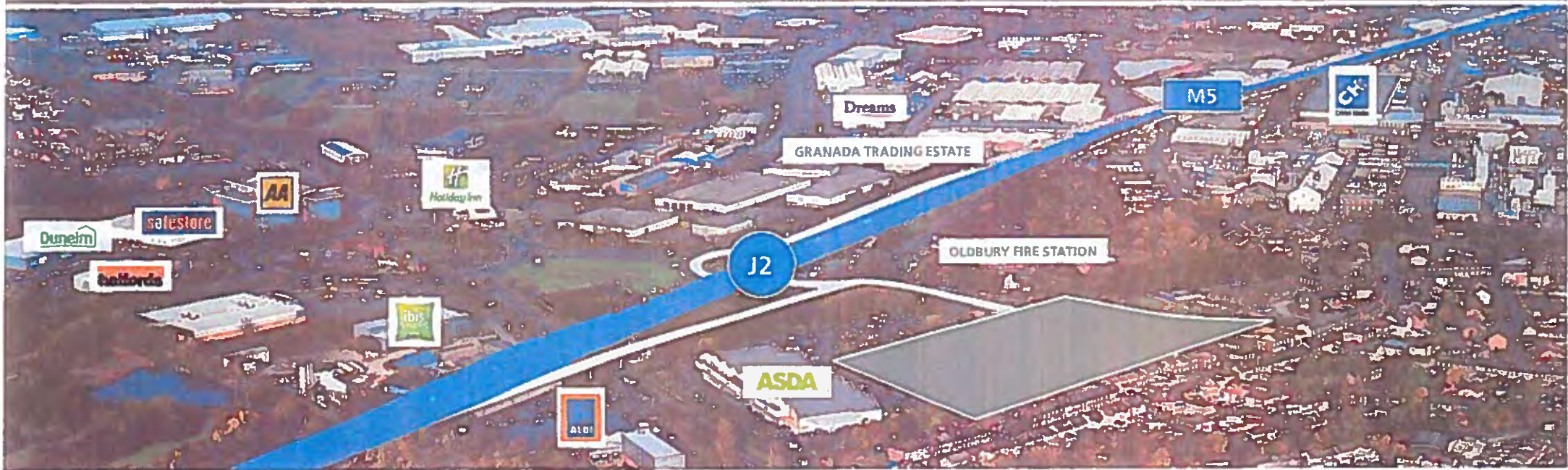
CONTACT INFORMATION
Tel: 0121 743 7100
Email: info@canmoor.co.uk

- 1 acre site
- 80 car parking spaces
- Direct access to M15
- Low land dark level access
- Up to 46 5m secure yard space

On-line petition - <http://chnq.lt/RhTGBFd6>

So our **WILDLIFE CORRIDOR** is already **FOR SALE** as if its **FLATTENED** and gone?





Prime site for D&B requirements 34,000 sq ft – 70,000 sq ft **TO LET**

- 5 acre site
- Build to suit opportunity
- Direct access to J2 M5
- 50 car parking spaces
- Level and dock level access
- Up to 46.5m secure yard space

OLDBURY

DESCRIPTION

The site comprises approximately 5.1 acres of development land, upon which a speculative development will be constructed comprising of units from 34,210 sq ft – 70,000 sq ft. The site is suitable for B1 / B2 and B8 uses, subject to specific planning requirements.

LOCATION

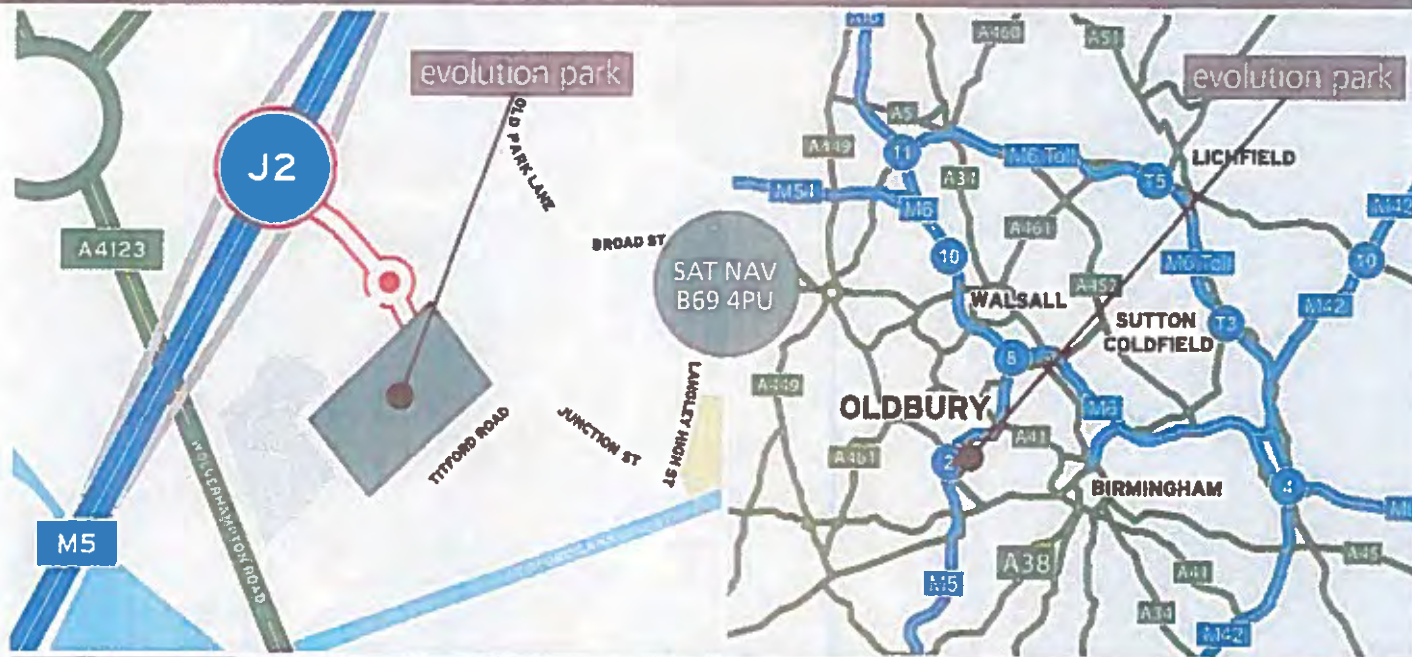
The site is located in Oldbury, approximately 7 miles west of Birmingham and adjacent to an Asda Superstore fronting Wolverhampton Road (A4123). The site itself benefits from direct access to junction 2 of the M5 motorway.

DRIVE TIMES

M5 J2	1 min	200 ft
M6 J8	10 mins	5.7 miles
Dudley	11 mins	3.6 miles
Birmingham	20 mins	13.0 miles
Wolverhampton	28 mins	9.2 miles

FURTHER INFORMATION

For more information and a full proposal, please contact:



57.7%

OF THE POPULATION OF WORKING AGE IN OLDBURY ARE IN EMPLOYMENT, COMPARED TO A NATIONAL AVERAGE OF 53.1%

7.0%

THE RATE OF UNEMPLOYMENT IN OLDBURY IS MUCH HIGHER THAN THE NATIONAL AVERAGE OF 4.5%

6.7%

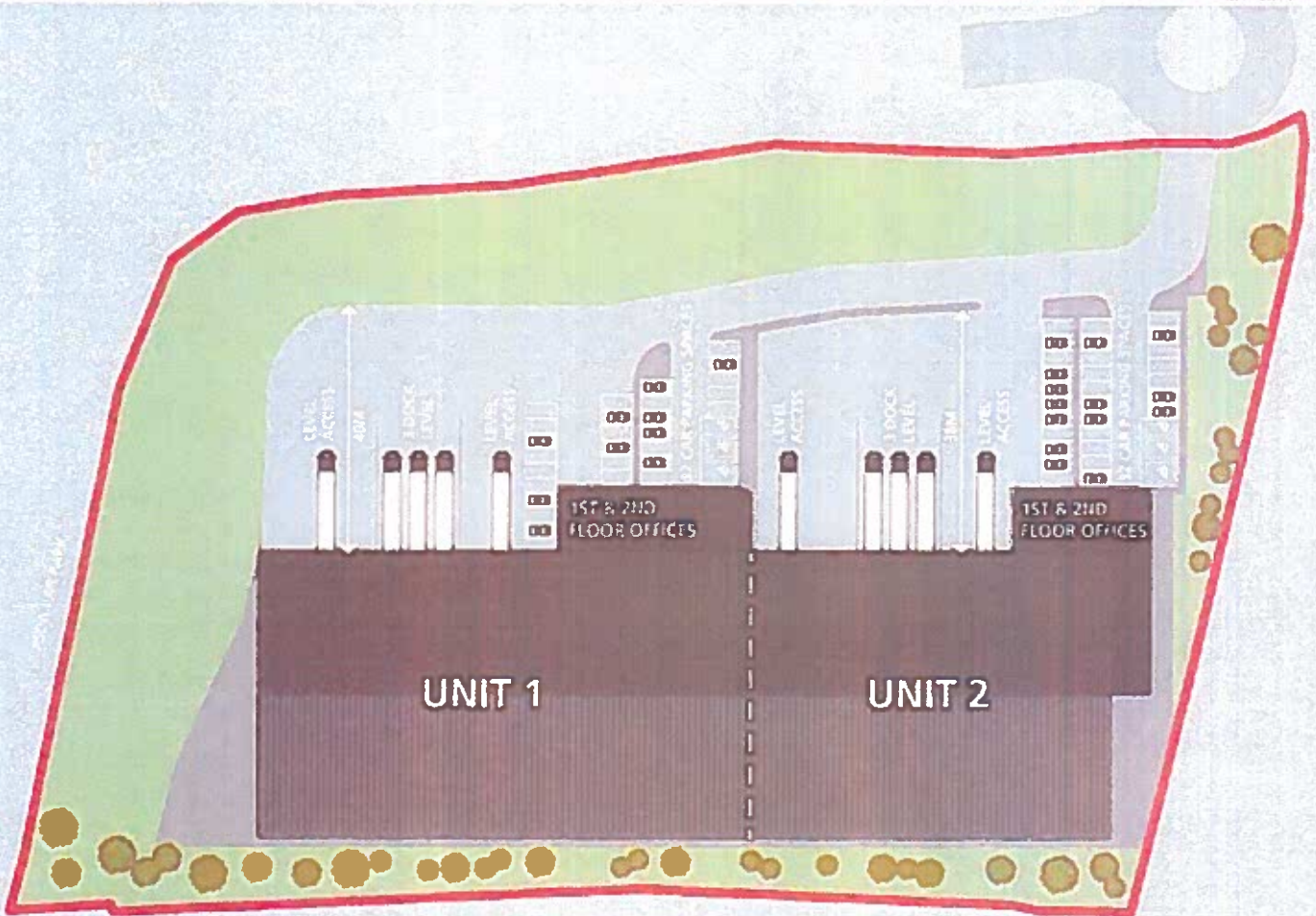
OF THE POPULATION OF WORKING AGE IN OLDBURY ARE EMPLOYED IN THE TRANSPORTATION AND STORAGE SECTOR



Carl Durrant
carl.durrant@eu.jll.com
Chris Clark
chris.clark@eu.jll.com



Peter Monks
peter.monks@colliers.com
Richard Meering
richard.meering@colliers.com



OPTION B

ACCOMMODATION (GIA)

UNIT 1	45,560 SQ FT
Warehouse	39,480 SQ FT
First & Second Floor Offices	6,080 SQ FT
UNIT 2	34,210 SQ FT
Warehouse	30,000 SQ FT
First Floor Offices	4,210 SQ FT
TOTAL	79,770 SQ FT

SPECIFICATION



3 DOCK
LEVEL DOORS



2 LEVEL
ACCESS DOORS



UP TO
40M YARD



9M CLEAR
INTERNAL HEIGHT



2 STOREY
OFFICES



32 CAR
PARKING SPACES

evolution park

WOLVERHAMPTON ROAD ■ OLDBURY ■ WEST MIDLANDS ■ B69 4PU

OPTION A

ACCOMMODATION (GIA)

UNIT 1	70,000 SQ FT
Warehouse	62,390 SQ FT
Ground & First Floor Offices	7,110 SQ FT
TOTAL	70,000 SQ FT

SPECIFICATION



8 DOCK
LEVEL DOORS



4 LEVEL
ACCESS DOORS



UP TO
46.5M YARD



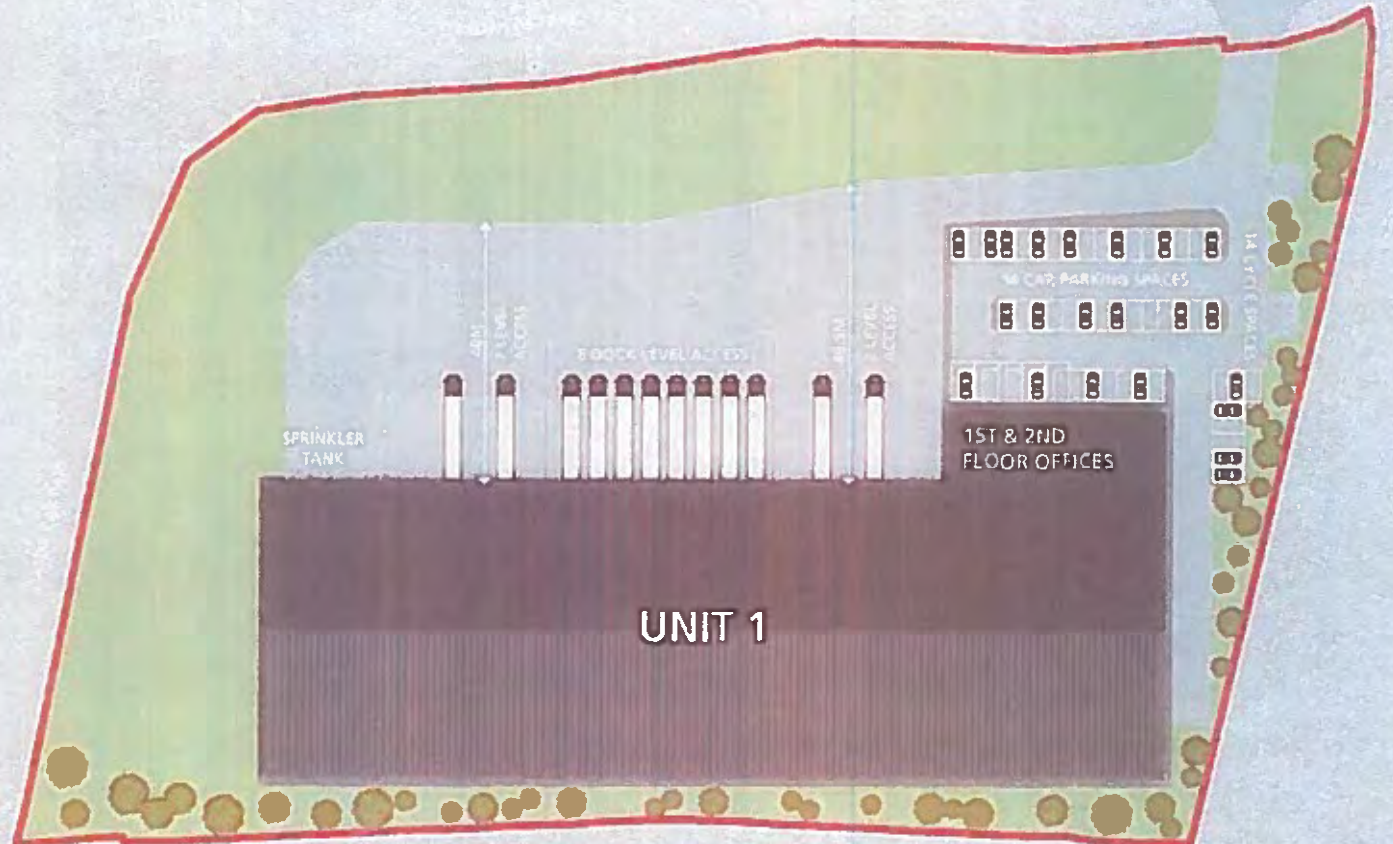
10M CLEAR
INTERNAL HEIGHT



2 STOREY
OFFICES



50 CAR
PARKING SPACES



OLDBURY



< BACK TO LAND / DEVELOPMENT

Oldbury - Evolution Park

LOCATION

Evolution Park is located immediately adjacent to J2 of the M5, offering excellent communication to the national motorway network as well as Birmingham City Centre. Major business occupiers include DPD, Steel & Alloy, SIG Insulation and Dreams.

DESCRIPTION

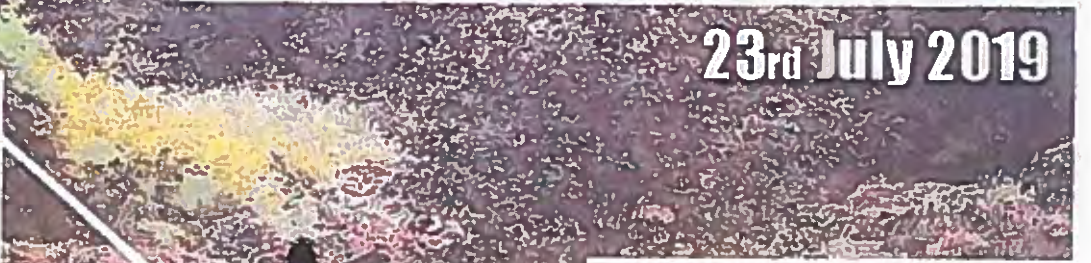
Design and Build opportunities on a prime 5 acre site ranging from 34,000 – 70,000 sq ft.

PARTNER

Canmoor Developments


[Brochure](#)





Please record each species sighting on a new row of the spreadsheet.
 Don't worry if you can't complete every section, just fill in what you can and send to enquiries@ecorecord.org.uk.

WHAT Species	Abundance/Sp/Activity	WHERE Location Name	Grid Reference: Postcode	WHEN Date	WHO Recorder name(s)	ADDITIONAL INFO Any Other Comments
Bull finch	m+f a pair	my garden	B69 4QE	24/5/19	A Newton	they came in a pair
Buzzard	couldnt tell	flying over head	B69 4QE		Shark Environment	man flying over wildlife corridor
Fox	?	Sunning himself in Garden	B69 4QE	20/6/19	Mr + Mrs Newton + myself	relaxed lying in the sun on my lawn.
Blue Tit	?	in my garden	B69 4QE	Daily	myself +	They come daily
Coal Tit	?	" " "	B69 4QE	Daily	Phil Shakespeare	To the feeders in our gardens and perch on our garden's arch
Robin	?	" " "	B69 4QE	Daily	Daily	visitors
Sparrow	?	" " "	B69 4QE	Daily	Phil Shakespeare	perched on tree top.
Heron	?	Wild Life Corridor	B69 4QE	7/6/19	A Newton	flyover regularly
Bats	?	Wild Life Corridor	B69 4QE		myself and other residents	Just flying erratic from large trees.
Badgers	?	edge of wildlife Corridor by School			Told School goes	looking for nature at back of school and saw evidence
Swifts		Fly from wild life Corridor over garden	B69 4QE	May 2019	A. Newton	fly in small group



I clean the
air you breathe.
I can do that for
your children too
"If you let me live"

STOP the **FLATTENING** of the
OLDBURY WILDLIFE CORRIDOR

<http://chnng.it/RhTGBFd6>

STOP the **FLATTENING** of the

<http://chnng.it/RhTGBFd6>

OLDBURY WILDLIFE CORRIDOR



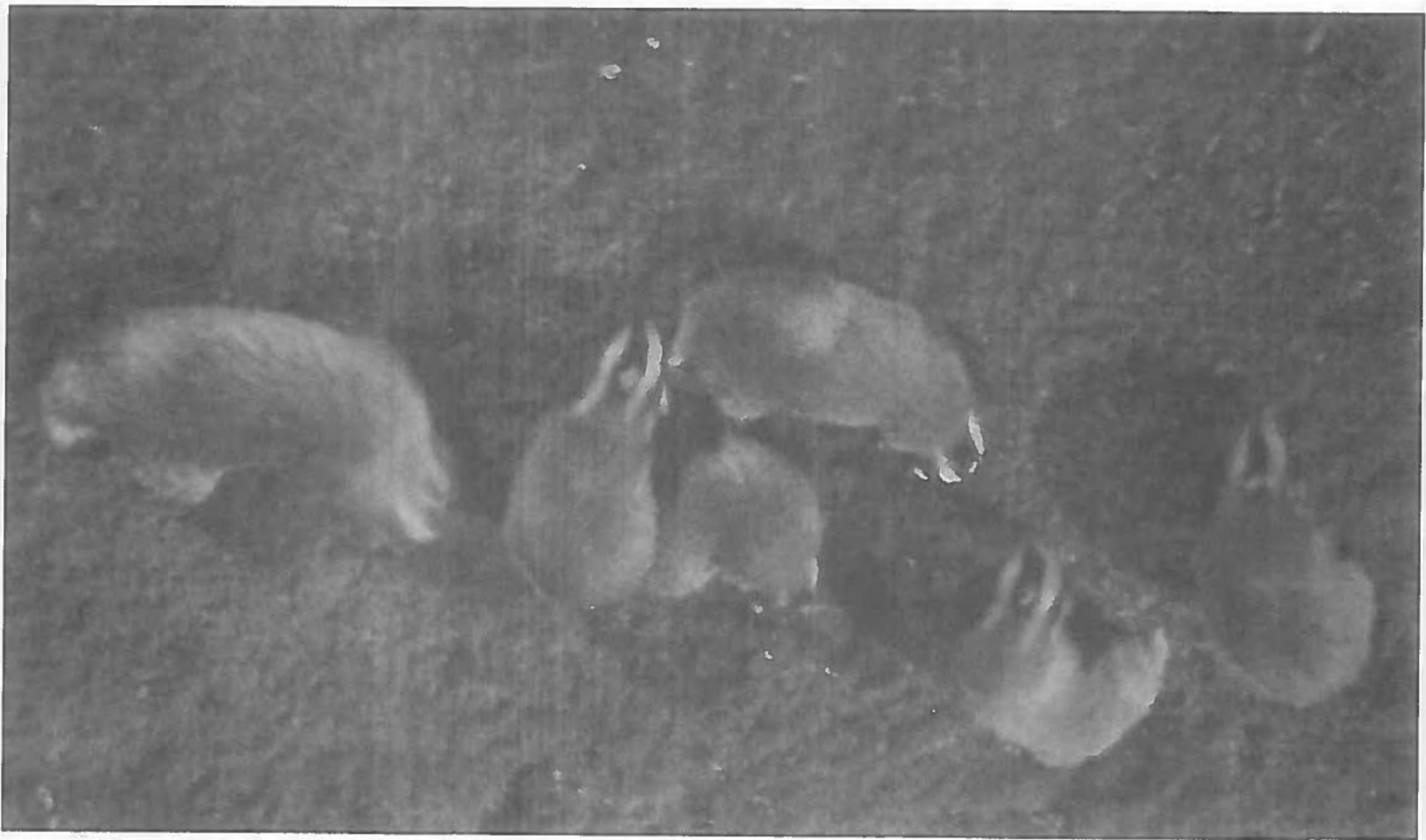
CAMPAIGN TO STOP THE FLATTENING OF THE OLDBURY WILDLIFE CORRIDOR



Langley Rocks have been busy making rocks for this year's Langley carnival they have even made some 'save our homes' animal rocks to promote saving the WILDLIFE CORRIDOR on Tifford Road showcasing the strength of feeling the local community has in pulling together to stop the flattening of this GREEN CORRIDOR by ASDA and associates!

"Without a Habitat there is no wildlife"





77
Wänge - Inon rum

File Note:

Since receiving the following online petition,
the number of signatures has increased to
20,545.

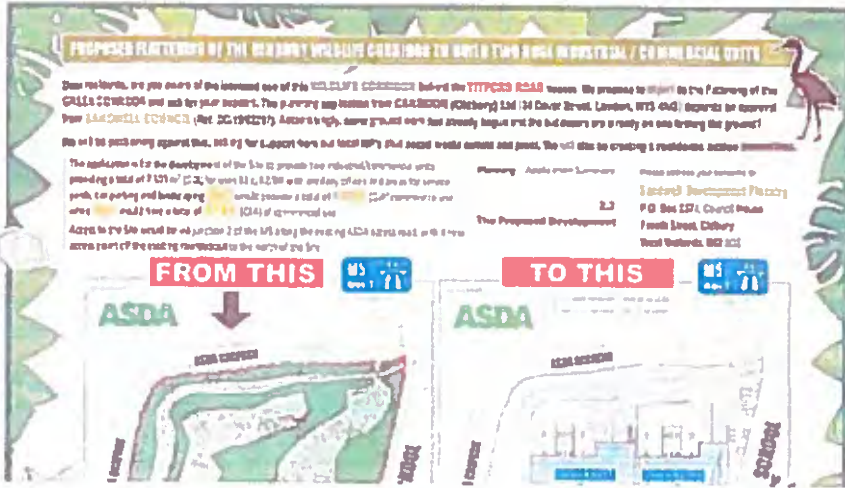
Stop the flattening of the Oldbury Wildlife Corridor to build Industrial Units

15K supporters

Petition details

20,518 + 27 = 20,545.

Stop the flattening of the Oldbury Wildlife Corridor to build Industrial Units



Philip Shakespeare started this petition to **Sandwell MBC Planning Department** and 1 other

FLATTENING OF THE OLDBURY 'GREEN' CORRIDOR (Ref. DC/19/63297)

As a resident who is situated within walking distance of the M5, Junction 2 and various different factories / industrial estates, we are already subjected to high levels of air pollution. I could reference hundreds of research papers that conclude that greenery significantly improves air quality in built up areas. Therefore, in a time where we are more environmentally conscious than ever, I am appalled at the planning application to Sandwell MBC to allow Canmoor (Oldbury) Ltd (which is actually in London) working on behalf of **ASDA (Oldbury)** to destroy this green corridor and build an industrial unit the size of a football pitch in its place. I argue that your rationale demonstrates an utter disregard for, not only the residents, but also the wildlife that inhabit this space and have done for hundreds of years. This demonstrates a clear lack of respect you have for the residents, the impact on already over congested roads and more importantly the hundreds of species of wildlife effected by this decimation.

"WITHOUT A HABITAT THERE IS NO WILDLIFE"

20,518 have signed.



- jason wilams** signed 20 minutes ago
- Heather Hurst** signed 2 hours ago

Sandwell MBC Planning Department: Stop the flattening of

Share on Facebook

- Send a Facebook message
- Send an email to friends
- Tweet to your followers
- Copy link

Show this petition to more potential supporters

Promote this petition



Stop the flattening of the Oldbury Wildlife Corridor to build Industrial Units

Date stamp **20,518 objections** (as of 29th August 2019)

Katura Greenacre

17 hours ago

REASON FOR SIGNING

I was brought up there ,all places need green places .

0

Write a reply...

Reply

Janet Williams

1 day ago

REASON FOR SIGNING

I am signing this petition because we need more green spaces not less. Trees not concrete are our lungs. As the pollution from cars and lorries increases these pockets of green spaces are vital for our wellbeing.

0

Write a reply...

Reply

Jayne Bordicott

1 day ago

REASON FOR SIGNING

There are plenty of sites around the area that this idea would work brilliantly, why disturb a wonderful pocket of wildlife. Its crazy, not impressed with Asda.

0

Write a reply...

Reply

Cathrine Williams-Holloway

1 day ago

REASON FOR SIGNING

Wildlife needs to be protecter!

0

Write a reply...

Reply

Deirdre Beasley

1 day ago

REASON FOR SIGNING

Appalling idea! Isn't wildlife under enough of a threat! No No No!

0

Helen Yates

1 day ago

REASON FOR SIGNING

I am suspicious of the fact that there MAY some backhander dealing here, after all, thats what Sandwell Council is well known for as previous court cases have proven. For every foot of concrete laid it would not suprise me if 2... Read more

0

Write a reply...

Reply

Alison Caldwell

1 day ago

REASON FOR SIGNING

This is dreadful.

0

Write a reply...

Reply

Shirley Taylor

1 day ago

REASON FOR SIGNING

Shirley Taylor

0

Write a reply...

Reply

mandy baird

1 day ago

REASON FOR SIGNING

We need wildlife. Doesn't anybody care? These poor animals will have nowhere. Stop the concrete jungle.

0

-1 reply

Write a reply...

Reply

wendy courtney

2 days ago

REASON FOR SIGNING

animals need homes too .

0

geoff harris

2 days ago

REASON FOR SIGNING

I'm an ex oldbury boy - there is little green space in the area so protect whats left for the benefit of the local people. There is no point worrying about the Amazon when we don't look after our own precious green spaces.

0

Write a reply...

Reply

kajal mohān

6 days ago

REASON FOR SIGNING

This is just another thing taken away from our earth. Should not be allowed to happen at all.

1

Write a reply...

Reply

Jill Gordon

1 week ago

REASON FOR SIGNING

We need more #wildlife corridors. To think industrial units take precedence is insane.

2

·1 reply

Write a reply...

Reply

Matt Ford

1 week ago

REASON FOR SIGNING

The nature of this area must be preserved due to the wildlife living there and it's unfair to removed them from their homes

3

Write a reply...

Reply

Erin Prior

1 week ago

REASON FOR SIGNING

We must fight for our green spaces

2

Write a reply...

Reply

Monique Knight

1 week ago

REASON FOR SIGNING

It is important to save Sandwell's wildlife. Industrial units are not appropriate near schools and houses due to the level of pollution.

2

·1 reply

Tracey Andrews

1 week ago

REASON FOR SIGNING

Please dont destroy this area, my childhood was spent in this area with my grandparents. It holds BIG memories for me

1

·1 reply

Write a reply...

Reply

Pat Needle

1 week ago

REASON FOR SIGNING

It is essential to preserve green spaces, especially in built up urban environments like this one both for the improvement of air quality and the retention of wildlife flora and fauna.

1

Write a reply...

Reply

Elaine Brown

1 week ago

REASON FOR SIGNING

We must protect our wildlife and environment

1

·1 reply

Write a reply...

Reply

Bernadette Marshall

1 week ago

REASON FOR SIGNING

At least 2 pairs of Buzzards nest there. As well as other wildlife!! Keep it green!!

1

·1 reply

Write a reply...

Reply

Kathryn Holmes

1 week ago

REASON FOR SIGNING

I care about preservation of Wildlife and pollution in our environment

1

·1 reply

Write a reply...

Reply

Liza Mason

Write a reply...

Reply

Lynn Keightley

3 days ago

REASON FOR SIGNING

There is too many sites that are a haven to wildlife being turned onto tarmac and concrete monstrosities! No wonder there us pollution and flooding... there is nowhere for it to go!!!

0

Write a reply...

Reply

HannahtFisher

3 days ago

REASON FOR SIGNING

It's one of the only few areas for wildlife within Oldbury.

0

Write a reply...

Reply

Michelle Fisher

3 days ago

REASON FOR SIGNING

We don't have much wildlife in Oldbury and would like to keep what little we have for our wildlife to continue to enjoy for years to come. If they flatten this land then where will our wildlife go?

0

Write a reply...

Reply

Sarah Taylor

3 days ago

REASON FOR SIGNING

Too much of this is being allowed to happen.

0

Write a reply...

Reply

Dawn Blackhall

3 days ago

I've lived here for 24 years and to think if they got the go ahead within weeks they would destroy such a beautiful tranquil wildlife haven - disgusts me all for greed

0

Write a reply...

Reply

Glynis Williams

4 days ago

REASON FOR SIGNING

Green space is essential for our physical and mental health. We also have to speak up for wildlife.

0

Write a reply...

Reply

Trudy Clark

4 days ago

REASON FOR SIGNING

We must protect Nature.

1

Write a reply...

Reply

Suzanne Webb

4 days ago

So much of wildlife, trees and beautiful surroundings are disappearing from our world also trees carry oxygen we won't have enough oxygen to live if we keep cutting down our trees so we are harming the world for our grandchildren x

1

Write a reply...

Reply

Joann James

4 days ago

What a fantastic interview. Well done and thank you for making this news. We arw living in a town with poor air quality as it is and wildlife habitat destroyed for profit. It's time people stand up for their communities and as Philip says there's plenty of brownfill sites sitting there empty so why this particular area which is full of trees and wildlife?

2

Write a reply...

Reply

Wendy A Armstrong

4 days ago

Very welcome, I know I am not from your area ,but we are ment to be preserving our trees and wildlife, not destroying it ☐

1

Write a reply...

Reply

Billie-Laura Remington

4 days ago

REASON FOR SIGNING

You can not ruin the animals home. And we need the trees!!

2

Write a reply...

Reply

maureen millsom

4 days ago

REASON FOR SIGNING

Stop this destruction before its to late. Why you cant use brown sites is behond me. The black-country has enough of disused site from past industry to cover all needs. For goodness safe leave nature some space.

2

Write a reply...

Reply

neila Dearn

4 days ago

REASON FOR SIGNING

We need more wildlife corridors and not more buildings.

1

Write a reply...

Reply

Steve Whalen

4 days ago

REASON FOR SIGNING

I think there are enough industrial units in oldbury green spaces are much more important

0

Write a reply...

Reply

Andy Andrew Stevens

4 days ago

REASON FOR SIGNING

There is plenty of land going to waste in the Old-bury area already, how about they use some of that and leave the wildlife alone. How would they like it if someone took their home without replac-ing it

1

Write a reply...

Reply

sylvia forster

5 days ago

REASON FOR SIGNING

to much wildlife being destroyed when there is no need for it

1

Write a reply...

Reply

Dorothy Stone

5 days ago

REASON FOR SIGNING

I've just heard about this on ITV Central News & while I'm not a resident, I wholeheartedly support this petition. It's vital that we conserve our trees since they create oxygen without which we cannot breathe. The fewer the trees, the more Asth-matics there are & that's just the tip of the iceberg!

0

Write a reply...

Reply

Cathy L

5 days ago

REASON FOR SIGNING

I'm signing because it's important to protect the wildlife, its their home but also to stop building industrial units behind residents homes. The green areas and trees should be left alone.

0

Write a reply...

Reply

Louise Lake

84 5 days ago

REASON FOR SIGNING

Because it's time to stop the destruction of these green areas. Once it's all gone it will be too late to repair the damage.

0

Write a reply...

Reply

Grosvenor Lucas

5 days ago

REASON FOR SIGNING

I have friends in the area and believe the development will affect the residents and wildlife

0

Write a reply...

Reply

Keith Taylor

5 days ago

REASON FOR SIGNING

Green should remain green.

0

Write a reply...

Reply

Jane Wallin

5 days ago

REASON FOR SIGNING

We should be encouraging wildlife not obliterating it. Use other brown field sites not this thriving nature reserve.

0

Write a reply...

Reply

Teresa St. Rugh

5 days ago

REASON FOR SIGNING

If we dont all make a stand against such disgusting unecessary 'projects'...what "green" will be left for us, our children and our fast disappearing wildlife?? Please share share share, online and what about a 'hard copy' petition too...

0

Write a reply...

Reply

Philip Shakespeare

5 days ago

Thank you to everybody who tuned in on Central TV so far 2,919 people can't be wrong !!!!

6

·1 reply

JOY SHEPHERD

4 days ago

Thank you for all that you have done! Brilliant

Like

2

Write a reply...

Reply

Raul Ward

5 days ago

REASON FOR SIGNING

Wildlife needs to be cherished not flattened

0

Write a reply...

Reply

Sue Pimlott

5 days ago

REASON FOR SIGNING

It's a crime against wildlife to flatten everything for the sake of more shitty buildings, this of course contributes to more flooding removing trees.

0

Write a reply...

Reply

Ian Higginbotham

5 days ago

REASON FOR SIGNING

There's a lot of industrial land derelict around Oldbury. So much that some of it is even being redeveloped for housing. Bulldozing invaluable greenery for warehousing defies all understanding. Especially as it will result in displaced wildlife (biodiversity anyone ?) and a towering and oppressive building reminiscent of the Berlin Wall just feet from the rear of residential properties and a primary school.

2

Reply

Doreen Vaughan

5 days ago

REASON FOR SIGNING

Should be protecting and preserving wildlife areas not destroying every green space

0

Write a reply...

Reply

Donna Pickerill

5 days ago

REASON FOR SIGNING

This needs to be stopped, yet another wildlife haven destroyed, and a total lack of respect for the residents of this area.

0

Write a reply...

Reply

Amina Burslem

5 days ago

REASON FOR SIGNING

wildlife should take priority especially considering the climate crisis, as should the quality of life for local residents

0

Write a reply...

Reply

Christina Findon

5 days ago

REASON FOR SIGNING

I'm signing because we should be planting more trees and wildlife areas not building more industrial units

0

Write a reply...

Reply

Ruth Nicholas

5 days ago

REASON FOR SIGNING

This habitat destruction is unnecessary.

0

Write a reply...

Reply

margaretadams

5 days ago

REASON FOR SIGNING

There are other sites that can be used first. We need to protect the wildlife and the trees

0

Write a reply...

Reply

Louisa Hopkins

5 days ago

REASON FOR SIGNING

Im signing because wildlife corridors are vital but they are being eroded slowly but surely. We need our wildlife we need our trees this development could be sited on existing brownfield sites without the need to further damage our fragile ecosystem

0

Write a reply...

Reply

Steve Murphy

5 days ago

REASON FOR SIGNING

The wildlife

0

Write a reply...

Reply

Anthony Harris

5 days ago

REASON FOR SIGNING

We need our wildlife protecting from these developers there are plenty of brown field sites to develop

0

Write a reply...

Reply

James Davies

5 days ago

REASON FOR SIGNING

its abhorrent that this even being considered. I am fully against these proposals

0

Write a reply...
Reply

[sueifleming](#)

5 days ago
REASON FOR SIGNING
STOP DESTROYING VITAL GREEN HABITAT!!!
0

Write a reply...
Reply

[Denise Smith](#)

5 days ago
REASON FOR SIGNING
Stop now !!
0

Write a reply...
Reply

[Nicola Tanner](#)

5 days ago
REASON FOR SIGNING
There is enough warehouses we want more
wildlife to keep them going
0

Write a reply...
Reply

[Rwth Hunt](#)

5 days ago
REASON FOR SIGNING
Use Brownfield sites
0

Write a reply...
Reply

[pari fawkes](#)

5 days ago
REASON FOR SIGNING
There is no PlanetB
0

Write a reply...
Reply

[Sue Luton](#)

5 days ago
REASON FOR SIGNING

We have enough shops!! Stop this now!!
0

Write a reply...
Reply

[Tyler Feld](#)

5 days ago
REASON FOR SIGNING
Spent many of my years growing up in and
around Oldbury, and the area is already polluted
enough! The local wildlife in the area also should-
n't have to lose their homes.
0

Write a reply...
Reply

[John Musgrove](#)

5 days ago
REASON FOR SIGNING
there are plenty of sites than can used for this
purpose rather than use up precious wildlife corri-
dors.
0

Write a reply...
Reply

[Helen Feld](#)

5 days ago
REASON FOR SIGNING
There are badgers in the area, and to have such
wildlife in such an urbanised area is amazing.
0

Write a reply...
Reply

[lisa blackburn](#)

5 days ago
REASON FOR SIGNING
It's a wildlife corridor proving essential links for
our native species and lungs for we ungrateful
humans. There's plenty of empty industrial sites.
Use them instead.
0

Write a reply...
Reply

[Lesley LePage](#)

5 days ago

REASON FOR SIGNING

This is horrendous. Sense of over profit, please!
The planet is in crisis and this will add to the
problem not help!!

0

Write a reply...

Reply

Jon Pain

5 days ago

REASON FOR SIGNING

Wildlife habitats need to be planned for and allowed for. Save this corridor.

0

Write a reply...

Reply

Cedric Gioan

5 days ago

REASON FOR SIGNING

Green spaces should be sacred. Lets keep what makes Birmingham special as a big city. Enough derelict industrial spaces everywhere

0

Write a reply...

Reply

Philippa Peate

5 days ago

REASON FOR SIGNING

We need to protect wildlife and green spaces ..!!

0

Write a reply...

Reply

michael sawbridge,

5 days ago

REASON FOR SIGNING

We dont need more factory's we need more wildlife places there are empty factory's everywhere

0

Write a reply...

Reply

Maureen Aston

5 days ago

REASON FOR SIGNING

There is plenty of other land on Oldbury that needs tidying up. West Bromwich street. It is an eyesore. Leave the wild life alobe

0

Write a reply...

Reply

Debbie Aldred

5 days ago

REASON FOR SIGNING

Too much of our natural habitat is being destroyed and lost for ever

0

Write a reply...

Reply

Wendy Stroud

6 days ago

REASON FOR SIGNING

I am against using inhabited green spaces and destroying local wildlife when there must be many other unused industrial sites or empty land ripe for redevelopment. Isn't our planet threatened enough? Come on Sandwell council, set an example here!

0

Write a reply...

Reply

Charlotte Brewster

6 days ago

REASON FOR SIGNING

This is disgusting. Humans have destroyed many habitats for animals. They need a place to live too.

0

Write a reply...

Reply

YVONNE GARNON

6 days ago

REASON FOR SIGNING

We have 'designer' new-build warehouses standing empty all over this country now - yet another government scam I assume that's lined the pockets of the wealthy. Much like the 'help to buy' schemes and all the other rubbish that is destroy-

ing our beautiful and oh so precious countryside. We the tax payer are paying to help commuters live in brand new executive homes in towns that are now choked to death by over development. Help to buy was meant to help the ordinary working man own his/her own affordable home - not allow already well paid individuals buy a 5 bedroom luxury house! I assume there is something similar going on with these warehouses.

Meanwhile our once thriving more industrial town centres and established industrial estates are dying while more and more green space (once protected!) land disappears under concrete! It's crackers and corrupt beyond belief.

I wish you much luck with your petition Phil, get it on facebook and the news when you can. My area has been sneakily decimated by greedy developers, I hope you can protect yours! All the best.

0

Write a reply...
Reply

Kai Sunnija

6 days ago

REASON FOR SIGNING

As their a plot of land that is sitting empty for quite a few years that the industrial development could be built without harming any wildlife and theirs also the former Toys R Us site that is also empty why is both of these sites not being used instead of somewhere were their is a wildlife corridor, their is a lack of green spaces as it is in Sandwell and one that is mainly used by wildlife,

Why are the council not doing more to protect these areas instead of letting them be developed

0

Write a reply...
Reply

Tracey Martin

6 days ago

REASON FOR SIGNING

There's enough empty storage units and congestion. There's toys r us land. Use that.

0

Write a reply...
Reply

Ken O'Neill

7 days ago

REASON FOR SIGNING

There are too many people and not enough wildlife.

0

Write a reply...
Reply

Haarhoff Anne

1 week ago

REASON FOR SIGNING

NO. Absolutely no.

0

Write a reply...
Reply

JAMES TREVOR

1 week ago

They are cheap to build and earn developer a large profit. Cheaper to build on green land than it is to clean up existing site. Council get fed the "we're creating jobs" spiel. They'll concrete over all the natural habitat and plant around 10 shrubs and put up a few bat boxes to say they've reduced their environmental impact. Local residents will also be able to see the 15m high building from their houses and have lorries running up and down the streets at all hours of the day.

Great

0

Write a reply...
Reply

Shirley Walker

1 week ago

More building equals more traffic equals more polluted air being breathed in! Ridiculous when there are units standing empty! Dont know what Sandwell MBC are thinking! So much for environmental policy!

0

Write a reply...
Reply

Roy Baird

1 week ago

There are empty units all over Oldbury and Sandwell, we don't need any more. If they are really needed the toys r us is empty and has a

huge amount of land, there is a huge space at the bottom of seven stars road, it used to be factories, it's now being cleared of rubble and is up for sale so there are other spaces that could be used. This is some greedy corporation just after a grant to build something that will never get used.
0

Write a reply...
Reply

Balinda Bissell

1 week ago
REASON FOR SIGNING
My daughter will be attending Langley School.
0

Write a reply...
Reply

Alf Dimmock

1 week ago
REASON FOR SIGNING
Because the unnecessary destruction of any green space is damaging to all life. We do not need more development.
0

Write a reply...
Reply

Carina Fisher

1 week ago
REASON FOR SIGNING
There is no need for this to happen
0

Write a reply...
Reply

Lee Murray

1 week ago
REASON FOR SIGNING
we have more than enough empty sites but less and less nature once it is gone it will be lost forever not needed or wanted
0

Write a reply...
Reply

Anne Lacey

1 week ago

REASON FOR SIGNING

It is short sighted to use land that is a wildlife habitat - we are more and more aware how important these habitats are. There is lots of derelict post industrial land in the area that could be used instead.
0

Write a reply...
Reply

Paul Allen

1 week ago
REASON FOR SIGNING
we need the green belt
0

Write a reply...
Reply

Rebecca Wilson

1 week ago
REASON FOR SIGNING
No one ever builds a green space, lets protect the little we have left
0

Write a reply...
Reply

Paul Millward

1 week ago
REASON FOR SIGNING
I'm an Oldbury lad!
0

Write a reply...
Reply

benifoy

1 week ago
REASON FOR SIGNING
There are plenty of brownfield sites to build industrial estates on. The demolition of this site has begun illegally as there is no planning permission and with no consultation to the public.

It is destroying habitat for hundreds of animals with no care how they will get on
0

Write a reply...

Reply

Joanne Mallen

1 week ago

REASON FOR SIGNING

We should keep as much green space as possible

0

Write a reply...

Reply

Norton Crannage

1 week ago

REASON FOR SIGNING

This seems to be happening more and more locally... Proposals for Lion Farm fields and Saltwells nature reserve being two others that spring to mind. There is NO need to develop green land for units when we have so many developed spaces currently standing empty!

0

Write a reply...

Reply

david fawcett

1 week ago

REASON FOR SIGNING

We're losing too many green corridors to redundant industrial units

0

Write a reply...

Reply

Matthew Shinn

1 week ago

REASON FOR SIGNING

I am opposed to the destruction of natural beauty for commercial greed.

0

Write a reply...

Reply

Pat Bradley

1 week ago

REASON FOR SIGNING

This sort of mentality is an utter disgrace!!

0

Write a reply...

Reply

Carl Higgs

1 week ago

REASON FOR SIGNING

I'm signing because (A) sites like this are too precious to lose in places like Oldbury, which is already extremely built-up, (B) sites like this bring so many benefits in terms of the natural environment, for wildlife, but also in terms of air quality for people's health and sense of well being, and (C) there are already other nearby sites which would be more suitable for this kind of development without impacting further on the natural environment, including industrial/commercial units currently lying empty.

0

Write a reply...

Reply

Turner TURNER

1 week ago

REASON FOR SIGNING

We need wild life corridors.

0

Write a reply...

Reply

Peter Chilton

1 week ago

There are plenty of other sites that can be developed that will not destroy green space. Also, being next to a primary school is a concern.

0

Write a reply...

Reply

Susan Young

1 week ago

REASON FOR SIGNING

It needs to be left alone for wildlife

0

Write a reply...

Reply

91 **Nikki Mole**

1 week ago

REASON FOR SIGNING

Plenty of empty space around oldbury to build this, leave what little wildlife we have alone!!

0

Write a reply...

Reply

Tracey Foden

1 week ago

REASON FOR SIGNING

I live with constant pollution from M5 and Wolverhampton Rd. Green spaces are getting fewer and fewer, smaller and smaller. Not only are these lovely places to walk, and habitats for wildlife, but are oxygen producers which are necessary for life! In the 12 months since I have been in this area Lion Farm playing fields are to become a shopping area which is very unlikely to thrive, an area behind Tifford Pools is sold off for development, and now this area! Whilst the eyesore of an empty Toys R Us store still remains. Sandwell should be ashamed if this goes ahead

0

Write a reply...

Reply

Cristina Mazzoni

1 week ago

REASON FOR SIGNING

I'm signing because I have a say in what happens in my world. We will all suffocate and die a horrible death of we don't look after our environment. Keep England green

0

Write a reply...

Reply

Jean Toms

1 week ago

REASON FOR SIGNING

It is happening all over the country, all for the sake of a few who will make a lot of money. What a disaster for future generations. Re use waste land abandoned areas empty units found all over the country.

0

Write a reply...

Reply

Bruce and Wendla Duncan

1 week ago

REASON FOR SIGNING

This is a WILDLIFE CORRIDOR! Do NOT sell it out and destroy it to build an industrial unit!

0

Write a reply...

Reply

Mandy Newton

1 week ago

WITHOUT HABITAT THERE IS NO WILDLIFE

It is so sad the wildlife will lose their home, it is a little bit of green belt and wildlife HAVEN in a built up area. When there is so much brown free factory warehouse sites laying empty and disused right near the site they want to flatten. As well as it's a flood plane our houses will flood and small things we take for granted will be a memory, our security and privacy let alone the sounds of nature, will be a thing of the past. Where will all the animals go if their home is destroyed. Money and greed are making our wildlife extinct. Our future children will know nothing of nature soon, there will be none. The trees also stop the pollution and the noise from the motorway, everyone is on about being Eco friendly and here it is being destroyed for money.

Save our WILDLIFE CORRIDOR, SAVE THE ANIMALS AND BIRDS WHO DON'T HAVE A VOICE !!

We will fight this !!

0

Write a reply...

Reply

Karen Clarke

1 week ago

REASON FOR SIGNING

I agree with previous comments, there are other places these units could go. There will soon be no green space left in this area.

0

Write a reply...

Reply

Virgene Link

2 weeks ago

REASON FOR SIGNING

We must protect our open spaces and leave places for clean air and water filtration. Please

site this somewhere else. Thank you.

0

Write a reply...

Reply

Matthew Guy

2 weeks ago

REASON FOR SIGNING

The way we are heading there will be no wildlife left

0

Write a reply...

Reply

andrea jackson

2 weeks ago

REASON FOR SIGNING

This area needs it's wildlife

0

Write a reply...

Reply

Deepak Rana

2 weeks ago

REASON FOR SIGNING

We must preserve our green and pleasant lands

0

Write a reply...

Reply

Belinda Paikkos

2 weeks ago

REASON FOR SIGNING

Why take away a patch of woodland when so much empty and deserted industrial property stands close by.

Also it's is so close to a primary school giving the children a chance at some better air quality in an otherwise heavily polluted area

0

Write a reply...

Reply

John Leavy

2 weeks ago

REASON FOR SIGNING

Sandwell needs every bit of green space it has.

Let the developers find and use brownfield sites, there are many to be found in this Borough.

0

Write a reply...

Reply

Carol Shaw

2 weeks ago

REASON FOR SIGNING

It's totally the wrong thi g to do our wildlife needs preserving.

0

Write a reply...

Reply

Zena Foy

2 weeks ago

REASON FOR SIGNING

Taking natural habitat from animals and birds. Residents dont want this in there back gardens. There are enough empty industrial sites to use.

0

Write a reply...

Reply

Keith Round

2 weeks ago

Why is this needed when we have warehouse units being built on Bishtons old scrap yard. Without disturbing wildlife as this was an industrial site. And as others have said Toys R us is standing doing nothing.

0

Write a reply...

Reply

Simon Osborn

2 weeks ago

REASON FOR SIGNING

Nature needs a home find somewhere else!

0

Write a reply...

Reply

Lizi Palmer

2 weeks ago

REASON FOR SIGNING

I am sick of the countryside being continually eroded for businesses. Use the hundreds of empty premises first. Leave something behind for our grandchildren to enjoy.

0

Write a reply...

Reply

Wendy Clark

2 weeks ago

REASON FOR SIGNING

Without wildlife corridors there will be NO wildlife!

0

Write a reply...

Reply

Jackie Horton

2 weeks ago

REASON FOR SIGNING

Im signing this petition because our local wildlife near somewhere safe to live too!

0

Write a reply...

Reply

Martin Swannell

2 weeks ago

REASON FOR SIGNING

Greenspaces are vital for wildlife, which is constantly being threatened by these sort of proposals. To allow this would also be against the interests of the local residents.

0

Write a reply...

Reply

Marie Rickers

2 weeks ago

REASON FOR SIGNING

Too angry for words ☐

0

Write a reply...

Reply

Louise Tinworth

2 weeks ago

REASON FOR SIGNING

I don't agree with it

0

Write a reply...

Reply

Katey Brown

2 weeks ago

REASON FOR SIGNING

This demonstrates a clear lack of respect you have for the residents, the impact on already over congested roads and more importantly the hundreds of species of wildlife effected by this decimation.

0

Write a reply...

Reply

Jessica Dancer

2 weeks ago

REASON FOR SIGNING

I live locally to this site and disagree with the destruction of the woodland and its habitat. I have concerns about the natural water table and how it will affect the local residents.

0

Write a reply...

Reply

Debbie Gazeley

2 weeks ago

REASON FOR SIGNING

There is loads of empty factories and warehouses so why not use them. Sick and tired of seeing eyesore buildings. Prefer to look at greenery and wildlife

0

Write a reply...

Reply

HARRY KNAPP

2 weeks ago

REASON FOR SIGNING

I agree with goal of this petition opposing industrial development.

0

94 Write a reply...

Reply

Michael Siviter

2 weeks ago

REASON FOR SIGNING

It's 'too built up an area' that lacks 'green space' so building over areas like this is absolutely 'appalling'. There are empty units all over the area so this development makes no sense at all, Just like our local council!

0

Write a reply...

Reply

Dee Lau

2 weeks ago

Aren't there enough empty units in Langley, Oldbury and West Bromwich?

2

Write a reply...

Reply

Jane Bowden

2 weeks ago

REASON FOR SIGNING

I think it's wrong to destroy the little wild life habitat we have in the area to build units that will create more traffic or remain empty.

0

Write a reply...

Reply

Allison MADELEY

2 weeks ago

REASON FOR SIGNING

Wildlife don't have the ability to communicate how we do. I'm signing it for them!! They wouldn't want to lose their home as much as we wouldn't!!

0

Write a reply...

Reply

gary prescott

2 weeks ago

REASON FOR SIGNING

More than ever natural habitats within urban areas are vital for our future.

0

Write a reply...

Reply

susan insull

2 weeks ago

REASON FOR SIGNING

The rapid destruction of green belt and wildlife habitat for industrial and housing is totally unnecessary when there are plenty of potential brown-field site available. This is an area of natural beauty, home of a variety of wildlife, flora and fauna which will be decimated should this building work proceed. Due to its proximity to M5 the trees are providing a corridor for absorbing pollution!

0

Write a reply...

Reply

Debbie Robinson

2 weeks ago

REASON FOR SIGNING

This corridor is vital for our wildlife. There are many alternative brown field sites that should be reused.

0

Write a reply...

Reply

Kayleigh Bradshaw

2 weeks ago

REASON FOR SIGNING

Sandwell council need to stop destroying all our green spaces

0

Write a reply...

Reply

Sarah Clewer

2 weeks ago

REASON FOR SIGNING

I choose wildlife over industrial properties

0

Write a reply...

Reply

gail ashfield

2 weeks ago

REASON FOR SIGNING

You are destroying the borough of sandwell bit by bit. Removing green spaces and habitats for wildlife and fauna. There are so many empty shops, factory units and warehouses already. This area already suffers with horrendous congestion and air pollution. I totally support this petition

0

Write a reply...

Reply

Amy Foy

2 weeks ago

REASON FOR SIGNING

There's plenty of empty warehouses in the area. The wildlife needs to be protected due to massive decline in populations due to these sort of things.

Vegetation also needs to be preserved to encourage clean air.

0

Write a reply...

Reply

Marie Palethorpe

2 weeks ago

REASON FOR SIGNING

There are plenty of empty warehouse units all over sandwell. What about the new ones up for sale on AD aquatic old site or empty toys r us ?

0

Write a reply...

Reply

Sara Shreeve

2 weeks ago

REASON FOR SIGNING

Wildlife corridors are vital for the survival of our native species.

0

Write a reply...

Reply

Claire Rigby

2 weeks ago

REASON FOR SIGNING

Please don't add to the pollution in the area and please think of the detrimental effect on wildlife and the people who absolutely love this stunning

area.

Please listen to what the people want and need, we do not need more pollution, congestion and loss of habit.

0

Write a reply...

Reply

Paul Scofield

2 weeks ago

REASON FOR SIGNING

We need more green areas in our towns and cities, not less.

0

Write a reply...

Reply

Jean Aston

2 weeks ago

REASON FOR SIGNING

please just leave what green space we have alone and use the empty factory land.

0

Write a reply...

Reply

prudence evans

2 weeks ago

REASON FOR SIGNING

Protect wildlife areas to stop climate change and benefit the area

0

Write a reply...

Reply

steven healey

2 weeks ago

REASON FOR SIGNING

Need to save the green belt from big business..wildlife before profit...

0

Write a reply...

Reply

Diane Lenagh

2 weeks ago

REASON FOR SIGNING

The green spaces are disappearing and there are the children going to play now. A designer outlet sandwell council wanted to

0

Write a reply...

Reply

Trevor Jones

2 weeks ago

REASON FOR SIGNING

If Sandwell is committed to tree planting then corridors and islands of green oasis are essential to prevent increasing pollution.

0

Write a reply...

Reply

Kate Kenner

2 weeks ago

REASON FOR SIGNING

When will the rights of animals come before the purposes/greed of people? That is rhetorical question but I am sick of hearing of land/homes/habitat being destroyed because people want it.

0

Write a reply...

Reply

Andrew Bowen

2 weeks ago

REASON FOR SIGNING

This is so unnecessary, use brown sites instead!!

0

Write a reply...

Reply

Patricia Florez-Greenaway

2 weeks ago

REASON FOR SIGNING

We are walking a fine line and wildlife and greenery need to be protected!

0

Write a reply...

Reply

Anthony VonHiede

2 weeks ago

REASON FOR SIGNING

Toys R Us in ledbury could be used instead of yet more green space. Sandwell council are always looking to use our green spaces for building.

0

Write a reply...

Reply

Sylvia Pickering

2 weeks ago

REASON FOR SIGNING

Preserving natural habitat for our wildlife is important!

0

Write a reply...

Reply

Emma Shepherd

2 weeks ago

REASON FOR SIGNING

There are more than enough brown field sites in Sandwell and Dudley - regeneration of them is key, not destroying wildlife habitats and green spaces!

0

Write a reply...

Reply

Philippa Carr

2 weeks ago

REASON FOR SIGNING

Wildlife is under pressure like never before~what right do you have to bulldoze a vital corridor & sanctuary? Do something positive for a change & put industrial buildings on a brownfield site & prosecute the builders behind the application for destroying a wildlife haven without permission!

0

Write a reply...

Reply

Mike Wakeman

2 weeks ago

REASON FOR SIGNING

We need green spaces within the urban environment.

0

Write a reply...
Reply

thelma withers

2 weeks ago

REASON FOR SIGNING

I dont wont it to close down we love this place

0

Write a reply...

Reply

Tom Willetts

2 weeks ago

REASON FOR SIGNING

I just agree, enough is enough

0

Write a reply...

Reply

Andrew Norrish

2 weeks ago

REASON FOR SIGNING

Because I live in Oldbury and we need all the green space we have left intact!

0

Write a reply...

Reply

ath Scrivens

2 weeks ago

REASON FOR SIGNING

Need to keep some trees for our health and wildlife.

0

Write a reply...

Reply

Mariah Heathcote

2 weeks ago

REASON FOR SIGNING

We need to stop taking away from animals and insects that will eventually die out because of the so called 'intelligent' human race. We need to stop thinking that we're superior to any other life form because in the long run we're killing ourselves. And I say we because even though I try 98 my hardest to be as green as possible. I am one

person and if know one else follows in my/others footsteps. Then I pretty much don't exist in terms of fighting for animals... But I'll never stop trying.
0

Write a reply...

Reply

Jodie Ohagan

2 weeks ago

REASON FOR SIGNING

We are loosing our green areas, we dont need any more supermarkets..

0

Write a reply...

Reply

Izzy Ham

2 weeks ago

REASON FOR SIGNING

Isabelle Colquhoun

0

Write a reply...

Reply

Elaine Leavesley

2 weeks ago

REASON FOR SIGNING

More green space needed I think there is enough being spoilt with councils taking over greenery please use run down factory spaces already there and not used.

0

Write a reply...

Reply

Fernande Fournier

2 weeks ago

REASON FOR SIGNING

Certains " humains " n'ont j'amaiz assez de l'argent! A, la fin, de votre vie vous prenez rien avec! C'es notre devoir de respectez et protegez les animaux et la nature! Eux, aussi on une âme. Eux, aussi on le droit d'avoirs une vie saine sur ce planète. En a que une nature. Vous, le savez? Vous, êtes des humains, soyez humaines. Prenez, enfin votre responsabilitée et réagissez, s.v.p. Arrêtez, cette suffrance envers les animaux et la nature! Civilisez? Certains " humains " n'ont pas le mot respect dans leur vocabulaire! Ils ne

sont pas en dessus du tous! C'es bien triste, de signez des pétitions. Merci.

0

Write a reply...

Reply

Benjamin Storch

2 weeks ago

REASON FOR SIGNING

I am sure there are other brown sites to build on or unused factories.

0

Write a reply...

Reply

Keith Underhill

2 weeks ago

REASON FOR SIGNING

There is not enough green space in the region

0

Write a reply...

Reply

Tracey Jayne Pye

2 weeks ago

REASON FOR SIGNING

This is totally depressing. It's a tiny sanctuary for wildlife in this over developed part of Sandwell. This can't happen! Two units to stand empty for the foreseeable future! Take your hands off our only bits green-spaces left. A London based company to boot. Leave it alone!

3

Write a reply...

Reply

Nicki Roberts

2 weeks ago

REASON FOR SIGNING

Enough is being destroyed we don't want to live in a concrete jungle!

1

Write a reply...

Reply

emma swift

2 weeks ago

REASON FOR SIGNING

This land is vital for local wildlife

1

Write a reply...

Reply

Tracy Rowan

2 weeks ago

REASON FOR SIGNING

We need to preserve our green spaces not destroy them what are we leaving for the future generations concrete jungles ☹

1

Write a reply...

Reply

Val Stephenson

2 weeks ago

REASON FOR SIGNING

There are more than enough empty warehouses on Oldbury. If one is needed, why not use the old Toys R Us site? Save the wildlife and green spaces!

8

Write a reply...

Reply

atilla demir

2 weeks ago

REASON FOR SIGNING

Please sign and share my friends

0

Write a reply...

Reply

Lynn Jones

2 weeks ago

REASON FOR SIGNING

We have other areas that can be used ie derelict industrial land use that instead of our green space

1

Write a reply...

Reply

99 **Will Lawley**

2 weeks ago

REASON FOR SIGNING

I now have the chance to live in green open spaces and would like all people to have the same opportunity as me.

0

Write a reply...

Reply

Maria Van Geel

2 weeks ago

REASON FOR SIGNING

Getekend

0

Write a reply...

Reply

Whitehouse

2 weeks ago

REASON FOR SIGNING

Getting fed up with developers building on all the green land around Oldbury including Lion Farm playing fields and the land by Tifford pool

1

Write a reply...

Reply

Debbie Rushton

2 weeks ago

REASON FOR SIGNING

I believe that it would be better to keep this greenfield site green and for the developers to do the RIGHT thing and use brownfield sites for such enterprise.

1

Write a reply...

Reply

josie anderson

2 weeks ago

REASON FOR SIGNING

We need green areas to mitigate the road pollution

1

Write a reply...

Reply

Ellen Compton

2 weeks ago

REASON FOR SIGNING

Wildlife is more important than money! Once it's gone it's gone! No more huge units!

1

Write a reply...

Reply

tina shakespeare

2 weeks ago

REASON FOR SIGNING

We dont need any more industrial units and the heavy flow of hgv,s on the busy roads that leads to them

0

Write a reply...

Reply

Aaron Edwards

2 weeks ago

REASON FOR SIGNING

I live in that area there are to many industrial estates all ready

0

Write a reply...

Reply

ronal Hughes

2 weeks ago

REASON FOR SIGNING

We don't need anymore units! But the wildlife need our green spaces!!

1

Write a reply...

Reply

Lynn Hawthorne

2 weeks ago

REASON FOR SIGNING

Sandwell is quickly becoming concreted over, blatantly putting profit above people. It MUST stop!

1

Write a reply...

Reply

Nick Ferguson

2 weeks ago
REASON FOR SIGNING

I want too!

0

Write a reply...

Reply

Michelle Dudson

2 weeks ago

REASON FOR SIGNING

We want to keep our countryside!

0

Write a reply...

Reply

Jane Huffer

2 weeks ago

REASON FOR SIGNING

I want to save our native wildlife & green spaces.

Once they're gone they'll never come back.

1

Write a reply...

Reply

Janet Johnson

2 weeks ago

REASON FOR SIGNING

We need to keep our wild life save from extinction and for our children to enjoy the environment around them

Write a reply...

Reply

前田 康子

2 weeks ago

REASON FOR SIGNING

賛同します

0

Write a reply...

Reply

Robert Limbrick

2 weeks ago

REASON FOR SIGNING

Its vital that such tracks are kept open

0

Write a reply...

Reply

Melissa Waldron-Mcdermott

2 weeks ago

REASON FOR SIGNING

In built up areas such as ours, developers need to leave what little green spaces we have left. All natural ground should be left for the benefit of future generations. There are many more places where buildings are derelict that these developers can use!

1

Write a reply...

Reply

Joanne Finnegan

2 weeks ago

REASON FOR SIGNING

You should be using brownfield sights and not destroying our wildlife and the little areas they have left.

0

Write a reply...

Reply

Lisa Millward

2 weeks ago

REASON FOR SIGNING

This area is already an eyesore due to the M5. Any tiny spot where wildlife thrives in a concrete jungle needs to be saved.

1

Write a reply...

Reply

Pam Hüskinson

2 weeks ago

REASON FOR SIGNING

Nature and our local habitat are important to me and my family

1

Write a reply...

Reply

101 **louise martin**

2 weeks ago

REASON FOR SIGNING

There are disused industrial sized buildings in a very near proximity why build new ones ? We need to keep as much green space as possible protect our wildlife have spaces for our children to play and observe that arnt made of concrete , metal and plastic .

1

Write a reply...

Reply

Tez Anderson

2 weeks ago

REASON FOR SIGNING

Concrete covers too much of our planet, and we need to hold on to our wildlife and green spaces

1

Write a reply...

Reply

Frank Brannigan

2 weeks ago

REASON FOR SIGNING

Frank Brannigan

0

Write a reply...

Reply

Mick Sheldon

2 weeks ago

REASON FOR SIGNING

We are fed up of the council getting rid of Green-field sites and destroying wildlife habitat

1

Write a reply...

Reply

Angela EVANS

2 weeks ago

REASON FOR SIGNING

Keep our green space ,build on old factory units places instead

0

Write a reply...

Reply

Robert Tarbuck

2 weeks ago

REASON FOR SIGNING

Disgrace

Sick of green spaces been flattened

Especially my home town

1

Write a reply...

Reply

Michael Hankin

2 weeks ago

REASON FOR SIGNING

We just have to keep green spaces!

All this discussions of carbon footprint is nonsense if we build on green spaces

1

Write a reply...

Reply

Louise cooper haime

2 weeks ago

REASON FOR SIGNING

I totally agree

0

Write a reply...

Reply

Lorraine Harris

2 weeks ago

REASON FOR SIGNING

Stop digging up our green space, there is so little left, trees and plants create our oxygen for us to breath, they create a home and habitat for nature to survive and exist, therefore it must be protected, not far from this proposed development is a larger piece of 'dead, unused, unsightly' area called "Langley" do something with this instead of leaving it a dying 'shithole'

1

Write a reply...

Reply

Doreen Brookes

2 weeks ago

REASON FOR SIGNING

There are plenty of derelict factory sites that can be used.

Write a reply...

Reply

marishkalia

2 weeks ago

There are Badges sets and Fox dens, also many species of wild birds in the green corridor that will suffer....this needs to be stopped.

1

Write a reply...

Reply

AnnePhillips

2 weeks ago

REASON FOR SIGNING

We are sick of Sandwell getting rid of any green land they think will be profitable. Use brownfield sites Sandwell there is enough of them!

1

Write a reply...

Reply

donnaHall

2 weeks ago

REASON FOR SIGNING

Consider using brownfield sites instead. Leave the wildlife alone.

0

Write a reply...

Reply

jenniReynolds

2 weeks ago

REASON FOR SIGNING

Jenni Reynolds

0

Write a reply...

Reply

elijahmadeley

2 weeks ago

REASON FOR SIGNING

Use the disused warehousing and wasteland that is already there.

We do NOT! Have enough green spaces as it is.

You could take advantage of this land and make it like The Saltwells reserve..this would attract people into Lanlgley to use the shops and pubs.

Sandwell Council you are a disgrace!

0

Write a reply...

Reply

GaynorSmith

2 weeks ago

REASON FOR SIGNING

Build on other sites not green land

0

Write a reply...

Reply

KerrieChatwin

2 weeks ago

REASON FOR SIGNING

To many green spaces are been lost, to build on when there is plenty of brown spaces to be used or empty warehouses! There is so much wildlife on there like badgers and foxes that it's cruel

0

Write a reply...

Reply

JacquiPenn

2 weeks ago

REASON FOR SIGNING

TOTAL unnecessary Destruction. And they wonder why there is Flooding. There will be NO green spaces anywhere. Councils should now their heads in Shame

1

Write a reply...

Reply

MatthewBeard

2 weeks ago

REASON FOR SIGNING

Conservation is important to the community, teaching our future generation about wildlife and the beauty it can bring.

1

Write a reply...

Reply

JeffreyLewis

2 weeks ago

REASON FOR SIGNING

There are more than enough industrial units around. Why destroy a fantastic wildlife habitat. Build somewhere else if you really must. Leave Oldbury Green alone for the wildlife.

1

Write a reply...
Reply

Lindsay Simcox

2 weeks ago

REASON FOR SIGNING

Wild life is needed ,their homes are goin to be taken. All about money for you people.

1

Write a reply...
Reply

FAYE BRYAN

2 weeks ago

REASON FOR SIGNING

This area is decimated by industrial sites and a lot of these are empty and in an appalling state use these for new business and expansion of others, give them free rates for a period and reasonable rent costs. The green belt area is beyond precious to our area. without nature and areas for us to use for recreational use we are finished. This area is suffering enough with low employment and opportunities to improve way of life. Leave this land alone think outside the box to use what is already developed here.

Write a reply...
Reply

Brenda Wright

2 weeks ago

REASON FOR SIGNING

Why is green space always taken first? Because it's greed, costs more to build on brown space, well I say ,they have the money let them use brown space leave the green areas to the people and wild life. God knows there is little of it!

1

Write a reply...
Reply

Ron Long

2 weeks ago

REASON FOR SIGNING

It's disgusting what Sandwell Council are doing to our Green spaces just for their monetary gain and they must be stopped

0

Write a reply...
Reply

Matthew Cromwell

2 weeks ago

REASON FOR SIGNING

A resident of Tifford Road; When we bought the house we were told that buidlings were not allowed to be built in the area.

Not only will it heavily impact the built up traffic in the area being next to M5 J2, It will increase the already high levels of emissions causing a detriment to our health. I also find it disgraceful that clearing of the grounds has started with minimal information being given to residents and more worryingly this includes the illegal practise of badger sett removing whom which are protected in order to make way for the development.

I have logged a complaint with the wildlife protection officer and awaiting a call back with regards to this.

1

Write a reply...
Reply

David Strudley

2 weeks ago

REASON FOR SIGNING

It's all wrong wild life have a Wright to live as well as humans

0

Write a reply...
Reply

Adam Williams

2 weeks ago

REASON FOR SIGNING

There are plenty of vacant industrial units already in the area and no need for more. The area may be of no use to humans but is a very rare section of the local area where wildlife can live undisturbed and peacefully

0

Write a reply...

Reply

Brian Green

2 weeks ago

REASON FOR SIGNING

Too much of this space is being lost in this area, we have to look after the wild life

0

Write a reply...

Reply

graham hill

2 weeks ago

REASON FOR SIGNING

G hill

Write a reply...

Reply

Nicola Stitt

2 weeks ago

REASON FOR SIGNING

We need green space

0

Write a reply...

Reply

gary joe Moloney

2 weeks ago

REASON FOR SIGNING

We can not replace wildlife. It is so precious.

1

Write a reply...

Reply

Alison Miles

2 weeks ago

We need to protect our greenbelt and wildlife.

There are plenty of other more suitable sites to build this on

1

Write a reply...

Reply

jane griffiths

2 weeks ago

REASON FOR SIGNING

Too much of our green belt is disappearing. Plenty of empty units about already

0

Write a reply...

Reply

Kate Ward

2 weeks ago

REASON FOR SIGNING

Wildlife is more important that shopping.

0

Write a reply...

Reply

Gillan Warr

2 weeks ago

REASON FOR SIGNING

This comes right onto my daughters garden and she has 2 children and also because of the wildlife

1

Write a reply...

Reply

Yvonne Stephens

2 weeks ago

REASON FOR SIGNING

This corridor of green is so precious to the local wildlife and residents. With more and more wildlife being displaced due to development, havens for wildlife such as this desperately need to be retained and protected. Asda should be required to alter their proposed plan so that this destruction of the green corridor is not an option.

2

Write a reply...

Reply

Tony rock

2 weeks ago

REASON FOR SIGNING

It should be left alone

0

Reply

Margaret Smith

2 weeks ago

REASON FOR SIGNING

Care for wildlife matters!

0

Write a reply...

Reply

Bill Gavan

2 weeks ago

REASON FOR SIGNING

Langley Ward has precious little green space left

. We currently have

A local developer proposing to develop The lion farm playing fields

The other side of J2 Island. Also in Langley Ward

The current leader of Sandwell council is also

Langley Cllr & a resident of Langley . Ward.

Cllr Y Davies We need to keep what precious little we have left (Green)

Bill Gavan Cllr Langley Ward

1

Write a reply...

Reply

G Dutton

2 weeks ago

REASON FOR SIGNING

I have now moved to Birmingham I was a resident and grew up in Oldbury, ran a cub scout group for many years over looking this land. We should be looking after Green spaces, they are a lung, a few years in and there will be a petition to plant trees that have been dug up. When government are talking about reducing emissions, going to net zero in carbon, it is crazy to be ripping up green space. We talk about our children being the future, we will have no where to give them

1

Write a reply...

Reply

Michael Morris

2 weeks ago

REASON FOR SIGNING

I'm signing because too much wildlife are getting deprived of their habitat

0

Write a reply...

Reply

sarah heath

2 weeks ago

REASON FOR SIGNING

Just leave it alone... stop turning everywhere into a concrete jungle!!! The animals need a home too!

0

Write a reply...

Reply

Phil Jones

2 weeks ago

REASON FOR SIGNING

It's NOT needed.....greenery IS!

1

Write a reply...

Reply

John Parkes

2 weeks ago

REASON FOR SIGNING

It's green space

0

Write a reply...

Reply

Claire Mahmood

2 weeks ago

REASON FOR SIGNING

Claire mahmood

0



Centre of the Earth
42 Norman Street
Birmingham
B18 7EP

Birmingham &
Black Country

0121 5230094
info@bbcwildlife.org.uk
bbcwildlife.org.uk

09/08/2019

Dear Mrs Bishop,

Application Reference: AB/DC/19/63297

Site Address: Land adjacent to Asda, Wolverhampton, Oldbury

Proposal: Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works.

Thank you for giving the Wildlife Trust for Birmingham and the Black Country the opportunity to respond to this full planning application.

Upon review of the documentation submitted along with the planning application specifically the Ecology Report produced by Applied Ecology Ltd and Planting Layout produced by Terry Anderson Landscape Architects in June 2018 and July 2019, respectively. We would like to bring the following significant issues and concerns to your attention;

Designated Sites

The site area encompasses the **Tame Valley Potential Sites of Importance (PSI)** and **River Tame Oldbury Branch** defined as a **wildlife corridor**, under the **'Birmingham and the Black Country Nature Conservation Strategy'**.

As a result, the proposed development will **highly likely cause a direct loss to a large area of the Tame Valley PSI**, which is noted to include semi natural mosaic habitat adjacent to a key ecological corridor, and potentially cause degradation through disturbance to the surrounding habitats (to include the River Tame and Adjacent areas of the Tame Valley (PSI) during and post construction.

PSIs are areas that have been identified as potentially having ecological value, however, have not yet been assessed against the Birmingham and Black Country Local Wildlife Sites selection criteria. Therefore, it is the opinion of the Wildlife Trust that the PSI should be assessed against the criteria to determine whether they meet the criteria of a SLINC or SINC, as part of the application, to ensure that the correct level of protection and mitigation is afforded to the site.

Protected Species

Badgers

The Wildlife Trust for Birmingham and the Black Country would seek for a pre-construction badger check, in conjunction with a watching brief, to be undertaken no more than six weeks prior to the commencement of works to confirm that the badger sett present on site still remains disused. Should the badger sett appear to be partially used or active the sett would need to be monitored, with no evidence of use, for a period of 21 days to classify a sett as disused and treated as such. Due to this being the maximum length of time a badger will remain under ground without coming to the surface. Should the sett be found to be active then licence should be obtained through Natural England to close the sett, if it cannot be retained as part of the development.

Bats, breeding birds and water voles

From the Ecology report it is understood that two surveys were undertaken for both bats and breeding birds in June 2018 and June 2019. In addition, one late season water vole survey was undertaken in July 2018.

The Wildlife Trust would seek to understand why a full survey effort, in line with best practice guidelines, was not undertaken on site to fully assess the site for these species. As described below:

As per Bat Conservation Trust good practice guidelines (3rd edition) for a habitat of low suitability there should be a transect survey visit (duration 2 hours after sunset) per season (spring – April/ May, Summer – June/July/August, Autumn – September/ October) undertaken in conjunction with automated bat surveys (one location pre transect, in total 3 surveys, to be collected on five consecutive nights).

However, one could argue that the site fits the description of a site with moderate suitability for foraging bats "Continuous habitat connected to the wider landscape that could be used by bats for commuting such as lines of trees and scrub or linked back gardens. Habitat that is connected to the wider landscape that could be used by bats for foraging such as trees, scrub, grassland or water" which would require further survey effort than stated above.

As per Common bird census methodology three breeding bird survey should be undertaken on a site. These surveys should be undertaken in April, May and June to ensure coverage of the peak period of bird activity.

As per Water vole conservation handbook 3rd edition two water vole surveys should be undertaken one early and one late season to confirm presence / likely absence of water vole along a stretch of river.

The Wildlife Trust for Birmingham and Black Country would highly recommend that best practice guidelines were followed in regards to assess the species present and their distribution on site throughout the year to ensure full survey coverage. As such would seek for further survey work to be undertaken prior to the determination of the planning application to ascertain the full impact of the proposed development on protected / priority species.

Ecological Assessment

The Ecology report submitted with the application does provide an evaluation of the protected species potentially on site and habitats. However, no requirement or confirmation on details of the mitigation within the proposed development, has been provided.

It was noted that consideration has been given to installing bat or bird boxes within the development. However, for full planning application the Wildlife Trust would seek confirmation and a commitment for the developers to provide this mitigation within the development to ensure no net loss in biodiversity as result of the application in accordance with para 174b of the NPPF that states "To protect and enhance biodiversity and geodiversity, plans should promote the conservation, restoration and enhancement of priority habitats, ecological networks and the protection and recovery of priority species and identify and pursue opportunities for securing measurable net gains for biodiversity."

In addition, it is noted that the planting layout does show the provision of wildflower meadows in small areas and tree planting along the boundary of the application site,

however, no management details of these areas has been provided in terms to maximize their value for wildlife benefit.

The site itself holds greater ecological value due to its location within the ecological network and as stepping stone along the river corridor. The proposed plan will result in further bottlenecking / narrowing of the wildlife corridor and river Tame. Upon review of the planting plan and ecology report the Wildlife Trust does not believe that current proposed mitigation considers or provides mitigation, in accordance to the mitigation hierarchy, to reduce this impact to the site and ecological network.

Therefore, at this stage the Wildlife Trust would in principle oppose this development until appropriate consideration and confirmation is given to the biodiversity within the site and the surrounding area as a key stepping stone of species within the local area.

For the Wildlife Trust to further consider the application, we would seek the production of a full Ecological Assessment. The Ecological Assessment would set out proposals for avoidance, reduction, mitigation and compensation to be incorporated within the application.

In addition, Wildlife Trust would seek for the production of:

- A Landscape and Ecological Management plan should be produced and agreed by the Wildlife Trust / Local Planning Authority ecologist, detailing management practices to be undertaken on the retained, newly created and enhanced areas of habitat within the site.
- A Construction and Ecological Management plan should be produced and agreed by the Wildlife Trust / Local Planning Authority ecologist; detailing the precautionary working methods for protected and priority species and the protection of retained habitats during site enabling works and construction.
- A drainage strategy should be devised to include an appropriate pollution prevention strategy to ensure the risk of pollution to the River Tame from run-off during and post construction is prevented.

Lighting Strategy

Upon review of the documentation provided within the planning application no details could be found on the lighting location and design. The bat surveys undertaken have shown that site holds records of different bat species, therefore, the proposed development site is likely to be used by the local bat populace for foraging and commuting. As such the Wildlife Trust would seek for the production of a lighting strategy prior to the determination of the planning application to ensure the planning application did not impact local bat species foraging and commuting routes.

The lighting strategy should detail the design and location of lighting to be used within the proposed development and also describe the methodology to minimise light spill along the retained woodland boundary.

Should you require further clarification or detail regarding the issues raised above please do not hesitate to contact me.

Yours faithfully,

Samantha Pritchard

Hi Mandy,

Thanks for your query.

I can't see a planning application listed for this site using the map search tool on the Sandwell MBC website
<https://webcaps.sandwell.gov.uk/publicaccess/spatialDisplay.do?action=display&se archType=Application>

Have you contacted Sandwell Council about this? If not a good contact would be Zoe Wilson who is a planning officer there - her email address is:
zoe_wilson@sandwell.gov.uk

I've checked on our system and the site is not currently designated as a Local Wildlife Site (SINC or SLINC).

The site is identified as a Wildlife Corridor (see attached map) under Sandwell UDP Policy NCS which states:

The integrity of wildlife corridors and linear features will be protected. Proposals which sever these, or reduce their value to wildlife will not be permitted, unless they demonstrate adequate mitigation measures.

The site has also been identified as a Potential Site of Importance (PSI):

Sites that potentially contain areas of important semi-natural habitat but currently fall outside of the Local Site system. These sites potentially contribute to the overall cohesion and resilience of the wider ecological network by providing a buffer to, or direct link / 'stepping-stone' between other existing important areas. Many of these sites were identified through a combination of aerial photo interpretation, historic maps and species data. For some sites, recent survey information exists, and they may meet the Local Site criteria, but are yet to be evaluated against the Local Site Criteria and/or are yet to complete the formal adoption process.

Protected or Notable species:

We have records of the following species from within the site:

- Swift
- House Martin
- Linnet
- House Sparrow
- Dunnock

Untitled

- Bullfinch
- Starling

Note: these records are now quite historic (1986)

I've also attached a list of Protected or Notable species recorded within 1km of the site.

Hope this helps,

Kind regards,

Andy

Andy Slater



Sandwell Council to launch public consultation on air quality

19.03.2019

COUNCIL NEWS

Sandwell Council, covering six towns in the West Midlands, will begin a public consultation on air quality this summer.

In October, the authority was directed by Defra to take further steps to address nitrogen dioxide emissions from road transport

Sandwell was among 33 'third wave' councils to have been directed by government to assess options to improve air quality in light of continued breaches of legal NO2 limits – following the High Court ruling on the government's air quality plan, brought to the courts by green group ClientEarth

However, the council says two key roads – A41 Birmingham Road, West Bromwich, and A457 Birmingham Road, Oldbury – are expected to meet government targets for reducing nitrogen dioxide this year, thanks to improving traffic signals and retrospectively fitting buses with cleaner technology

Cllr Elaine Costigan, cabinet member for public health and protection, said the council 'are serious about improving air quality,' and says that they want to make sure people in Sandwell are not adversely affected by Birmingham's Clean Air Zone, due to come into effect in January 2020, which could displace more polluting vehicles into Sandwell.



THE IMPACT TREES HAVE IN WILDLIFE CORRIDORS

TREES CLEAN THE AIR

Trees absorb odors and pollutant gases (nitrogen oxides, ammonia, sulfur dioxide and ozone) and filter particulates out of the air by trapping them on their leaves and bark.

TREES BLOCK THINGS

Trees can mask concrete walls or motorways and unsightly views. They muffle sound from nearby streets and motorways, and create an eye-soothing canopy of green. Trees absorb dust and wind and reduce glare..

TREES COMBAT CLIMATE CHANGE

Excess carbon dioxide (CO2) is building up in our atmosphere, contributing to climate change. Trees absorb CO2, removing and storing the carbon while releasing oxygen back into the air. In one year, an acre of mature trees absorbs the same amount of CO2 produced when you drive your car 26,000 miles



The M5 motorway runs through Sandwell and is one of the major sources of pollution in the borough

'It's really important for our residents' health. We're looking forward to hearing people's views on our plans in the consultation this summer,' she added.

'Changes in vehicle technology are helping but, like many areas nationwide, we need to see nitrogen dioxide levels come down further in some places

'We're currently carrying out a study to confirm the worst polluted areas, so we can prioritise action in those hotspots.

'We're also looking at how we can reduce pollution from council vehicles and promoting walking, cycling and car sharing.'

Sandwell Council also says they are looking closely at Public Health England's review of interventions to improve outdoor air quality and public health, published last week, especially around working across council boundaries, electric vehicle charging points and promoting public transport and cycling

Print Version

Address

UPRN: 000032066605
Full Address: 201 Titford Road Oldbury B69 4QE
Property Number: 201
Street: Titford Road
Town: Oldbury
Postcode: B69 4QE
Ward: Langlely

Constraints

Name	Constraint Type	Description
Building Control Area B2	Building Control Areas	This property is within the B2 Building Consultancy Operational Area. For information about demolitions, or dangerous buildings please contact 0121 569 4054 or 4055.
This Property Is Covered By The Southern Team	Development Control Areas	The Southern Area Development Control Team may be contacted on 0121 569 4039
Mineral Safeguarding Area (BCCS)	Development Plan	Policy MIN1 applies
Canal And Rivers Trust Consultation Zone Major	Canal and River Trust	For more information contact Canal and River Trust, Peels Wharf, Lichfield Street, Tamworth, B78 3QZ Tele 01872 252000

Policy MIN 1 Environmental Protection

To assess the need for the mineral resource against the need to protect and conserve the environment.

Mineral exploration and working may damage or destroy nature conservation sites and structures and remains of historic and archaeological interest that are of importance. The early identification of the presence and importance of such sites, structures and remains liable to be affected by proposed mineral developments is important. The minerals industry should seek to ensure the physical preservation of important nature conservation sites, historic buildings and ancient monuments along with their settings.

Mineral developments within or in close proximity to areas such as Areas of Special Scientific Interest or National Nature Reserves which have been declared or proposed for declaration on the basis of their scientific value in regard to flora and fauna, etc, will not normally be given permission where they would prejudice the essential character of such areas. The same will apply to areas which have been or are to be designated, scheduled or listed because they contain features of archaeological or historic interest.

The Department will balance the case for a particular mineral working proposal against the need to protect and conserve the environment, taking account of all relevant environmental, economic and other considerations. In all areas, decisions on mineral applications will be made with regard to the preservation of good quality agricultural land, tree and vegetation cover, wildlife habitats, natural features of interest in the landscape and sites of archaeological and historic interest.

Extensions to existing mineral workings which minimise environmental disturbance in the countryside will normally be preferred to new workings on green field sites.

Permission for the extraction of peat for sale will only be granted where the proposals are consistent with the protection of boglands valuable to nature conservation interests, and with the protection of landscape quality particularly in Areas of Outstanding Natural Beauty.

Where applicable, measures designed to prevent pollution of rivers, watercourses and ground water should be included in applications for mineral extraction and processing plant, including settlement ponds. The provision of reliable protective measures will be an important factor in assessing the acceptability of the extraction proposal.

Print Version

Close Window

Print

Summary

Reference	DC/19/63297
Alternative Reference	PP-07173475
Application Received	Wed 10 Jul 2019
Application Validated	Thu 11 Jul 2019
Address	Land Adj To Asda Wolverhampton Road Oldbury Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works.
Proposal	
Status	Registered
Appeal Status	Unknown
Appeal Decision	Not Available

Further Information

Application Type	Full (Major)
Expected Decision Level	Delegated Decision
Case Officer	Mrs Alison Bishop
Ward	Langley
District Reference	Not Available
Applicant Name	Not Available
Agent Name	Mr Matthew Thomas
Agent Company Name	Michael Sparks Associates
Agent Address	Units 11 And 12 Plato Place 72-74 St Dionis Road London SW6 4TU
Environmental Assessment Requested	No

Contacts

Agent

Mr Matthew Thomas

EMAIL m.thomas@msa-architects.co.uk

Phone 02077 366162

Ward Councillors

Councillor B Gavan

Address Sandwell Council House C/o Amy J Hodgkins Freeth Street Oldbury B69 3DE

Councillor Y S Davies

Address 16 Park Road Bearwood Smethwick B67 5HS

Councillor S Davies

Address 28 Redwood Drive Tividale Oldbury B69 2HY

Important Dates

Application Received Date	Wed 10 Jul 2019
Application Validated Date	Thu 11 Jul 2019
Expiry Date	Sat 24 Aug 2019
Actual Committee Date	Not Available
Latest Neighbour Consultation Date	Tue 23 Jul 2019
Neighbour Consultation Expiry Date	Thu 15 Aug 2019
Standard Consultation Date	Not Available
Standard Consultation Expiry Date	Tue 13 Aug 2019
Last Advertised In Press Date	Tue 23 Jul 2019
Latest Advertisement Expiry Date	Sat 24 Aug 2019
Last Site Notice Posted Date	Wed 24 Jul 2019
Latest Site Notice Expiry Date	Fri 16 Aug 2019
Statutory Expiry Date	Thu 10 Oct 2019
Agreed Expiry Date	Not Available
Decision Made Date	Not Available
Permission Expiry Date	Not Available
Decision Printed Date	Not Available
Environmental Impact Assessment Received	Not Available
Determination Deadline	Thu 10 Oct 2019
Temporary Permission Expiry Date	Not Available

Constraints

Name	Constraint Type	Status
High Risk Coal Mining Referral Area	Coal Mining Referral Area	Current
Low Risk Coal Mining Referral Area	Coal Mining Referral Area	Current

This Property Is Covered By The Southern Team	Development Control Areas	Current
Solvay Outer Zone	Hazardous Premises	Current
Solvay Middle Zone	Hazardous Premises	Current
Adopted SAD DPD Local Employment Land Allocation	Black Country Core Strategy	Current
Wildlife Corridors	Black Country Core Strategy	Adopted
Zone 2	Fluvial flooding zones	Not Available
Zone 3	Fluvial flooding zones	Not Available
SI/0825	Site Investigation Reports	Not Available
SI/0972	Site Investigation Reports	Not Available
SI/1076	Site Investigation Reports	Not Available
SI/0657 - Housing Development	Site Investigation Reports	Not Available
SI/1071	Site Investigation Reports	Not Available
SI/1074	Site Investigation Reports	Not Available
SI/0477	Site Investigation Reports	Not Available
A4123 Birchley Island Improvement Work Programmed 0-5 Years	Highway Improvement Provisions	Confirmed
Radon Class 1	Radon Affected Areas	Current
Building Control Area B2	Building Control Areas	Current
Canal And Rivers Trust Consultation Zone Major	Canal and River Trust	Current
Mineral Safeguarding Area (BCCS)	Development Plan	Not Available
MS3316 - Speedwell Colliery	Mineshafts	Not Available
MS3315 - Speedwell Colliery	Mineshafts	Not Available
Historic Land Fill Sites From EA	Historic Land Fill Sites	Not Available
LF/0071 - Park Street South, Park Street, Oldbury	Licensed Landfill Sites	Not Available

Related Information

There are 29 documents associated with this application.

Companies / CANMOOR (OLDBURY) LIMITED



Company Number	11378224
Name	CANMOOR (OLDBURY) LIMITED
Incorporation on	23 May 2018 (Wednesday)
Company Type	Private Limited Company
Status	Active
Business Activity	Management Of Real Estate On A Fee Or Contract Basis
Registered Address	34 DOVER STREET LONDON UNITED KINGDOM UNITED KINGDOM W1S 4NG
Country of Origin	United Kingdom

Companies / MCLAGAN INVESTMENTS LIMITED



George. ASDA

Company Number	02127156
Name	MCLAGAN INVESTMENTS LIMITED
Incorporation on	30 April 1987 (Thursday)
Company Type	Private Limited Company
Status	Active
Business Activity	Development Of Building Projects
Registered Address	ASDA HOUSE SOUTHBANK GREAT WILSON STREET LEEDS LEEDS

25. Ownership Certificates and Agricultural Land Declaration

Name of Owner/Agricultural Tenant	McLagan Investments Ltd
Number	
Suffix	
House Name	ASDA House
Address line 1	Southbank
Address line 2	Great Wilson Street
Town/city	Leeds
Postcode	LS11 5AD
Date notice served (DD/MM/YYYY)	02/07/2019

Person role

- The applicant
- The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) making the application.

Date (cannot be pre-application)

25. Ownership Certificates and Agricultural Land Declaration

Name of Owner/Agricultural Tenant	McLagan Investments Ltd
Number	
Suffix	
House Name	ASDA House
Address line 1	Southbank
Address line 2	Great Wilson Street
Town/city	Leeds
Postcode	LS11 5AD
Date notice served (DD/MM/YYYY)	02/07/2019

Person role

- The applicant
- The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) making the application.

Date (cannot be pre-application)

To the Owner/Occupier,
201 Tifford Road
Oldbury
B69 4QE

My Ref: AB/DC/19/63297
Your Ref:
Please ask for: Mrs Alison Bishop
Tel No.: 0121 569 4039
Date: 23rd July 2019

Dear Sir or Madam,

Planning Application at Land Adj To Asda Wolverhampton Road Oldbury

Application reference no: DC/19/63297

I have received a planning application from Canmoor (Oldbury) Ltd for Proposed development to provide 2 No. units comprising of Industrial process (Class B1c), General Industrial (Class B2), Storage or Distribution (Class B8) with ancillary offices, car parking, landscaping, service yard areas, and associated external works. I am writing to let you know as a neighbour.

Applications are available to view online, along with the ability to submit your comments by using the Council's website (www.sandwell.gov.uk).

A guide to commenting on planning applications and the decision process is available on-line. Observations must be made on-line or in writing by **15th August 2019**.

Please be aware that due to the law, comments made about an application must be made available for public viewing.

Unfortunately, as we receive a very large number of emails and letters we cannot acknowledge them or enter into correspondence with you about the proposal.

If you wish to meet the case officer you must make an appointment first.

The decision letter will be published in due course on the website.

Yours faithfully,



Amy Harhoff
Director of Regeneration & Growth

2.2 The Proposed Development

The application is for the development of the Site to provide two industrial/commercial units providing a total of 7,503 m² (GIA) for uses B1 c/B2/B8 with ancillary offices and areas for service yards, car parking and landscaping. Unit 1 would provide a total of 4,285 m² (GIA) commercial use while Unit 2 would have a total of 3,218 m² (GIA) of commercial use.

Access to the Site would be via junction 2 of the M5 along the existing ASDA access road, with a new access point off the existing roundabout to the north of the Site.

An indicative layout of the development areas is shown in Figure 2.2.

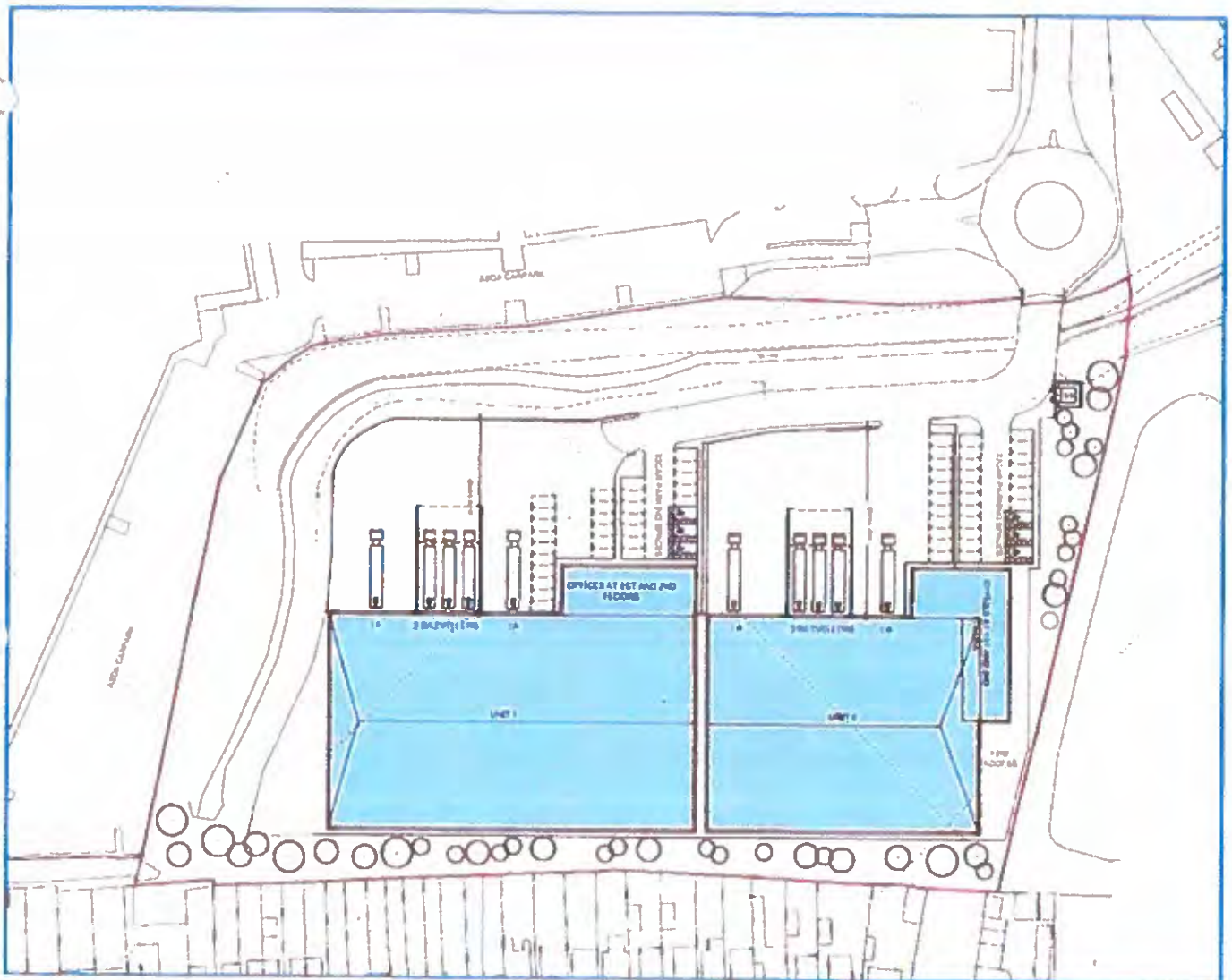


Figure 2.2: Layout of Proposed Development

**"HUMAN'S
STEALING MY
HABITAT"**







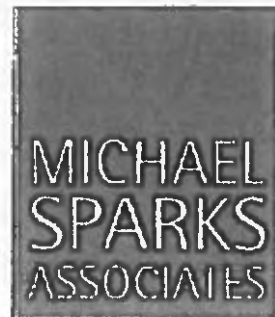








2 July 2019



CHARTERED ARCHITECTS

11 PLATO PLACE
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LONDON SW6 4TU

+44 (0)20 7736 6162
www.msa-architects.co.uk

Planning Department
Sandwell Council House,
Freeth Street,
Oldbury,
West Midlands,
B69 3DE

Dear Sir/Madam,

LAND ADJACENT TO ASDA, OLDBURY

Planning Application submitted via the planning portal (reference PP-07173475)

Full Planning Application for the development of the site to provide two modern employment units of 7,503 sq m (GIA) for flexible employment purposes within use classes B1c/B2/B8 with ancillary offices, car parking, landscaping, service yard areas and ancillary uses as well as associated external works.

This letter accompanies a full planning application for the redevelopment of the site for flexible employment purposes that has been submitted on the planning portal on behalf of Canmoor (Oldbury) Limited.

Payment of the application fee of £31,311.00 has been paid via BACS transfer.

In addition to the required application forms, in accordance with the requirements of the Development Management Procedure Order 2015, the following information has been submitted to support this application:

Reports-

1. 31112-RP-001 Planning Statement
2. 31112-RP-002 Design and Access Statement
3. 31112-RP-003 EIA Annex
4. Transport Assessment
5. Draft Travel Plan

MICHAEL SPARKS ASSOCIATES LLP

Partners : Michael Sparks · Ashley Chambers · Anthony White · Neville Campbell · Sam Darwin · Paul Wainha · Lee Page · Rebecca Driscoll

6. Energy Strategy
7. External Lighting Assessment
8. Ecology Assessment
9. Flood Risk Assessment and Drainage Strategy
10. Air Quality Assessment
11. Noise Impact Assessment
12. Phase I Environmental Site Assessment and Coal Mining Risk Assessment

Drawings-

1. 31058-PL-01B -- Site Location Plan
2. 31058-PL-02A -- Site Layout Plan
3. 31058-PL-03A -- Illustrative Site Layout Plan
4. 31058-PL-04 -- Floor Plans Unit 1
5. 31058-PL-05 -- Floor Plans Unit 2
6. 31058-PL-06 -- Elevations
7. 31058-PL-07 -- Illustrative Elevations
8. 758.10.01 Landscape Layout
9. 758.19.01 Planting Layout
10. 758.TS.01 Tree Survey

Please also find attached an EIA annex detailing the issues that have been considered in determining that the submission of an Environmental Impact Assessment is not necessary.

I trust that this will allow the application to be validated, should you require anything further in relation to this submission then please contact me.

Yours sincerely,





Matthew Thomas
Michael Sparks Associates
m.thomas@msa-architects.co.uk

enc

REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63392
Application Received	6 th August 2019
Application Description	Proposed 20 No. dwellings
Application Address	Former Resource Centre, Lowry Close, Smethwick
Applicant	Mr Alan Martin, Sandwell MBC, Sandwell Council House, Freeth Street, Oldbury, B69 3DE
Ward	Smethwick
Contribution towards Vision 2030:	 
Contact Officer(s)	William Stevens 0121 569 4897 William_stevens@sandwell.gov.uk

RECOMMENDATION

That the application is deferred.

1 BACKGROUND

- 1.1 This application was originally reported to your Planning Committee because the applicant is Director of Regeneration and Economy and the proposal has generated local interest.
- 1.2 At your last Committee, Members resolved to visit the site, however due to further information being required this application is deferred and a full report will be brought to your meeting in January 2020.

2 SUMMARY OF KEY CONSIDERATIONS

- 2.1 The Site is allocated for housing in the adopted development plans.
- 2.2 The material planning considerations will be addressed at the next meeting in the full report.

3. The APPLICATION SITE

3.1 The application site is bound by Church Hill Street, and Vicarage Road, Smethwick, with the site separated in two by Lowry Close, Smethwick.

3.2 The immediate area is residential with retail and offices and close to a multi-storey car park opposite the application site.

4. PLANNING HISTORY

4.2 Planning Permission was granted in 2018 (DC/18/62088) for the demolition of the former resource centre on site. The resource centre has since been demolished and the site remains vacant.

4.3 Relevant planning applications are as follows: -

DC/18/62088	Demolition of resource centre	Approved 15.08.2018
-------------	-------------------------------	------------------------

5. APPLICATION DETAILS

5.1 The applicant proposes to erect 20 No. Dwellings. These will be made up of different house types including 11 no. 2 bedroom semi-detached properties, 4 no. 4 bedroom properties, and 5 no. 2 bedroom bungalows, all with associated car parking and gardens.

6. PUBLICITY

6.1 The application has been publicised by neighbour notification letters, site notice and press notice. Comments received will be reported to your next committee.

7. STATUTORY CONSULTATION

7.1 All statutory consultations will be reported at your next meeting.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

9.1 Members will be updated at the next Planning Committee.

10. MATERIAL CONSIDERATIONS

10.1 Members will be updated at the next Planning Committee.

11. IMPLICATIONS FOR SANDWELL'S VISION

11.1 The proposal supports Ambition 7 and 10 of the Sandwell Vision 2030:-

11.2 Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.

11.3 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

12.1 That Members defer determining the application in order to allow amended plans and further information to be received from the applicant.

13. STRATEGIC RESOURCE IMPLICATIONS

13.1 When a planning application is refused the applicant has a right of appeal to the planning inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 Comments will be provided within the next full report.

18. SUSTAINABILITY OF PROPOSALS

18.1 Comments will be provided within the next full report.

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

19.1 Comments will be provided within the next full report.

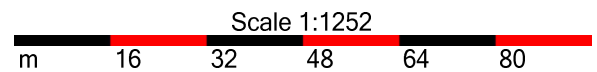
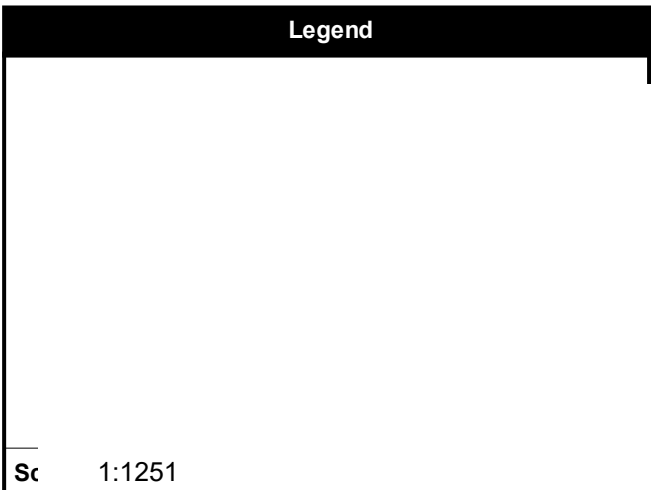
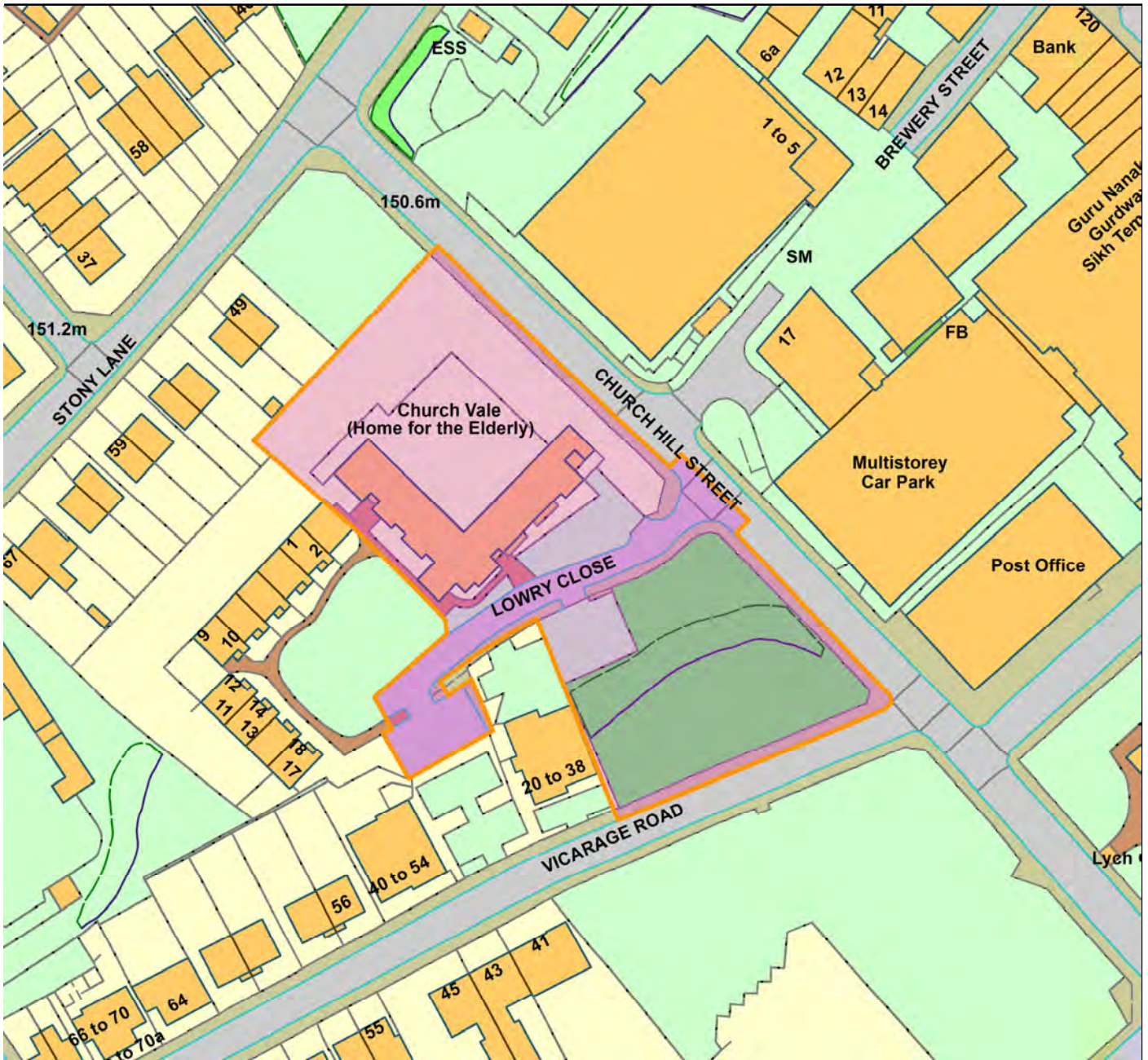
20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

20.1 The proposal is on Council owned land.

21. APPENDICES:

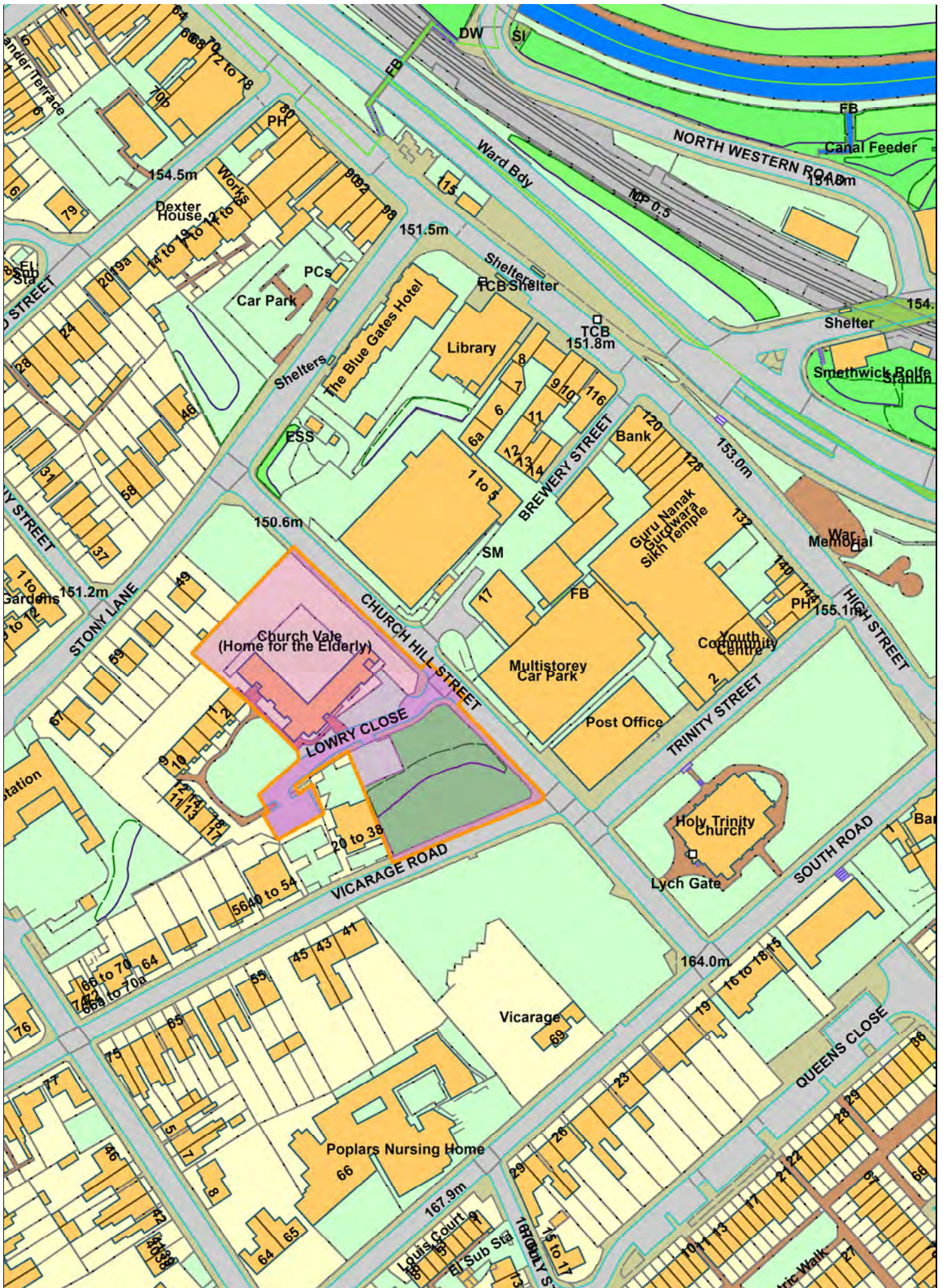
Site Plan
Context Plan

DC/19/63392
Former Resource Centre, Lowry Close



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Organisation	Not Set
Department	Not Set
Comments	Not Set
Date	24 October 2019
OS Licence No	




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REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63417
Application Received	16 th September 2019
Application Description	Retention of pergola at rear
Application Address	Wood Green Nursing Home 27 Wood Green Road Wednesbury WS10 9AX
Applicant	Michael Goss
Ward	Wednesbury North
Contribution towards Vision 2030:	
Contact Officer(s)	Mrs Christine Phillips 0121 569 4040 christine_phillips@sandwell.gov.uk

RECOMMENDATION

Retrospective planning permission is recommended subject to:

- (i) The pergola not being used as a smoking shelter; and
- (ii) The planting of a conifer tree along the boundary.

1. BACKGROUND

- 1.1 At your last meeting Committee resolved to visit the site.
- 1.2 This application is being reported to your Planning Committee at the request of Councillor Peter Hughes and Councillor Elaine Costigan due to previous objections from neighbouring residents.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The site is not allocated in the adopted development plans.
- 2.2 The material planning considerations which are relevant to this application are:-
Design, appearance and materials

The intended use

The impact on adjoining property in terms of loss of privacy

Refer to section 6 below for more details

3. The APPLICATION SITE

- 3.1 The application refers to an established nursing home on the north-west side of Wood Green Road, opposite Brunswick Park. The site also backs onto Jockey Lane. The original house at 27 Wood Green Road has been significantly extended since 2007 as part of the conversion to a nursing home so that it fills most of the frontage and extends into the back of the site in roughly a “u” shape. There is an enclosed rear garden adjoining the boundary with 28 Wood Green Road and there is extensive planting along the boundary, largely planted within the garden of the house no. 28 Wood Green Road.

4. PLANNING HISTORY

- 4.1 In 2007 application DC/06/46393, was approved on appeal following refusal by the Council, giving permission for enlargements to make the home capable of housing up to 40 residents. The extensions have been part implemented which enables the applicants to continue building the remaining approved alterations at their convenience. These remaining changes relate to the main frontage block.

During the implementation of DC/06/46393 various changes were made to the layout and design to meet practical construction demands and means of escape requirements. This resulted in the approval of a non-material amendment application to retain the changes in December 2011.

A further application DC/11/54048 sought to make alterations to the approved scheme including bringing the extension closer to the rear of no 28 Wood Green Road. Whilst several of the changes were deemed to be acceptable, the submission was refused by your Committee on the following grounds: -

“The proposed extension would detract from the amenities of the neighbouring residential property at no 28 Wood Green Road by reason of loss of light to a rear lounge and kitchen.”

Application DC/12/54441 was a re-submission of DC/11/54048 for alteration/extension to infill the lounge; laundry extension; gables to frontage; new entrance; enclosure of external staircase and elevational improvements. It was approved in May 2012.

- 4.2 Relevant planning applications are as follows:-

DC/12/54441	Alteration/extension to infill lounge, Laundry extension, gables to frontage New entrance, enclosure of external Staircase and elevation improvements, (re-submission of DC/11/54048)	Approved 30/5/2012
DC/11/54048	Extensions and alterations to proposals originally approved under DC/10/51926.	Refused 27/3/2012
DC/06/46393	Non-Material Amendment Submission For amendment to DC/06/46393.	Agreed 30/12/2011
DC/10/51926	Renewal of (DC/06/46393) consent for proposed part single-storey and part two-storey extension.	Approved 6/5/2010
DC/06/46393	Part rear single-storey and part two-Storey extension.	Allowed on Appeal 25/5/2007

- 4.3 It should be noted that the consented applications required the applicant to plant additional landscaping and mature planting along the boundary with no. 28 Wood Green Road and this has not been implemented to date. The local planning authority have received ongoing complaints about the development of the site since work commenced.

5. APPLICATION DETAILS

- 5.1 It is proposed to retain a timber pergola in the rear garden located close to the boundary with the garden of 28 Wood Green Road. The structure measures 5m x 6m x 3m high to the highest point of a fully hipped tiled roof (2.2m to eaves height). The structure is open sided, although on the rear elevation facing 28 Wood Green Road, an artificial green screen wall has been affixed to prevent overlooking.

6. PUBLICITY

- 6.1 The application has been publicised by neighbour notification with one response.

6.2 Objections

Objections have been received on the following grounds: -

- (i) Loss of privacy due to the construction of the pergola along with the fact that the applicant has failed to comply with previous planning conditions relating to landscape planting along the boundary.
- (ii) Concern that the pergola would be used as a smoking shelter 24/7 all year round by staff, residents and visitors resulting in litter, possibility of the fence setting alight (as has happened in the past), and smoke.
- (iii) Increased noise closer to the boundary.
- (iv) Loss of light and outlook to all habitable rooms on the ground and first floor of the adjoining house.
- (v) That the land levels have been increased when the original building works were commenced by approximately 1m and therefore making the pergola unduly prominent.

Immaterial issues have also been raised regarding fire damage to the fence and rubble being stored against the fence causing it to break. Also, rubbish stored in areas that are designated for emergency vehicles. The local planning authority has advised the objector that it has no control over these issues.

6.3 Responses to objections

I respond to the objector's comments in turn;

- (i) The pergola itself extends along a 6m stretch of the boundary and the applicant has installed an artificial green screen along its rear elevation to protect privacy. In terms of other landscaping, it is recognised that the applicant has failed to comply with earlier planning conditions relating to the provision of additional landscaping. When building works first commenced in relation to the nursing home extensions, many of the trees that were due to be retained along the boundary were felled by the applicant and not replaced. In response the owner of the adjoining house planted trees within his boundary that, in the last 10 years, have established to provide a relatively full and evergreen screen between the two sites. There is a gap towards the back of the site away from the pergola and a single conifer tree would fill the gap, in my view. This could be dealt with via planning condition.
- (ii) The applicant has advised that the pergola would be used as a sun shelter for residents and visitors and that it would not be used as a smoking shelter. Also, that although there is no designated smoking shelter at the site staff tend to use the side passageway adjacent between the home and 28 Wood Green Road or at the rear of the garden. Environmental Health has confirmed that there is no statutory requirement to provide a smoking shelter.

- (iii) It is not considered that the use of the pergola as a sun shelter for residents and visitors would cause significant noise issues to warrant refusal of permission.
- (iv) It is not considered that the pergola causes any appreciable loss of light or outlook to the habitable rooms of the neighbouring property. It is positioned approximately 7m away from the closest window and largely screened by trees/hedging. Also, the materials used in its construction are not unsightly.
- (v) The increase in land levels do not form part of this planning application submission. The structure is not unduly high (max 3.2m to a hipped roof) and is largely obscured from view.

6.4 Support

No comments have been received which support the application.

7. STATUTORY CONSULTATION

7.1 Environmental Health – No objections.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

9.1 The following sections of the Council's Development Plan are relevant: -
ENV3: Design Quality
SAD EOS9: Urban Design Principles

9.2 From a design perspective the pergola is considered acceptable and would accord to adopted design policies.

10. MATERIAL CONSIDERATIONS

10.1 The key material considerations with this proposal are design referred to above (9.2) and the intended use and the impact on adjoining property in terms of loss of privacy. As indicated in 6.3 above (response to objections):-

10.2 Design. The design is considered to be acceptable in size and appearance.

10.3 As a sun shelter the use is considered acceptable.

10.3 Loss of privacy. This is negligible and would not warrant refusal of permission.

11. IMPLICATIONS FOR SANDWELL'S VISION

11.1 The proposal supports Ambition 10 of the Sandwell Vision 2030

11.2 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

12.1 The proposal is of appropriate design in accordance with adopted policy. Also, it would not have an adverse impact on adjoining residential property providing it is used solely as a sun shelter for residents and visitors. It is further considered that the existing landscaping, albeit largely within the garden of no 28, along with the artificial green screen, does ensure adequate privacy.

12.2 It is recognised that the adjoining residents have suffered from the development of the site, where breaches of planning control have taken place, and where the local planning authority has been unable to achieve acceptable outcomes in the past. This situation has largely arisen from the earlier decision by the Planning Inspectorate to allow an appeal that was refused by your Committee (DC/06/46393). I do sympathise with the objector's concerns but I am mindful of the fact that 10 years has now elapsed and, in relation to this proposal, an established and substantial landscape screen exists between the two premises which lies within the boundary and control of the adjoining neighbour. It is nevertheless considered appropriate to request that the additional conifer is planted along the boundary to complete the screen between the two properties.

12.3 Finally, the fact that the full landscaping scheme has not been installed in accordance with earlier consents cannot be controlled by this application. Although I fully understand the frustration of the objectors at the failure of the applicant to comply with this element of the development, enforcement action has been considered but it would not be expedient to pursue it given the existing substantial screening along the boundary. The planting of one additional conifer would complete the screen and the applicant has verbally agreed to do this.

13. STRATEGIC RESOURCE IMPLICATIONS

- 13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

- 14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

- 15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

- 16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

- 17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

- 18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

- 19.1 Refer to the summary of the report (12).

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

- 20.1 There will be no impact.

21. APPENDICES:

Site Plan
Context Plan
Plan No. 01
Photograph 02

DC/19/63417
Wood Green Nursing Home



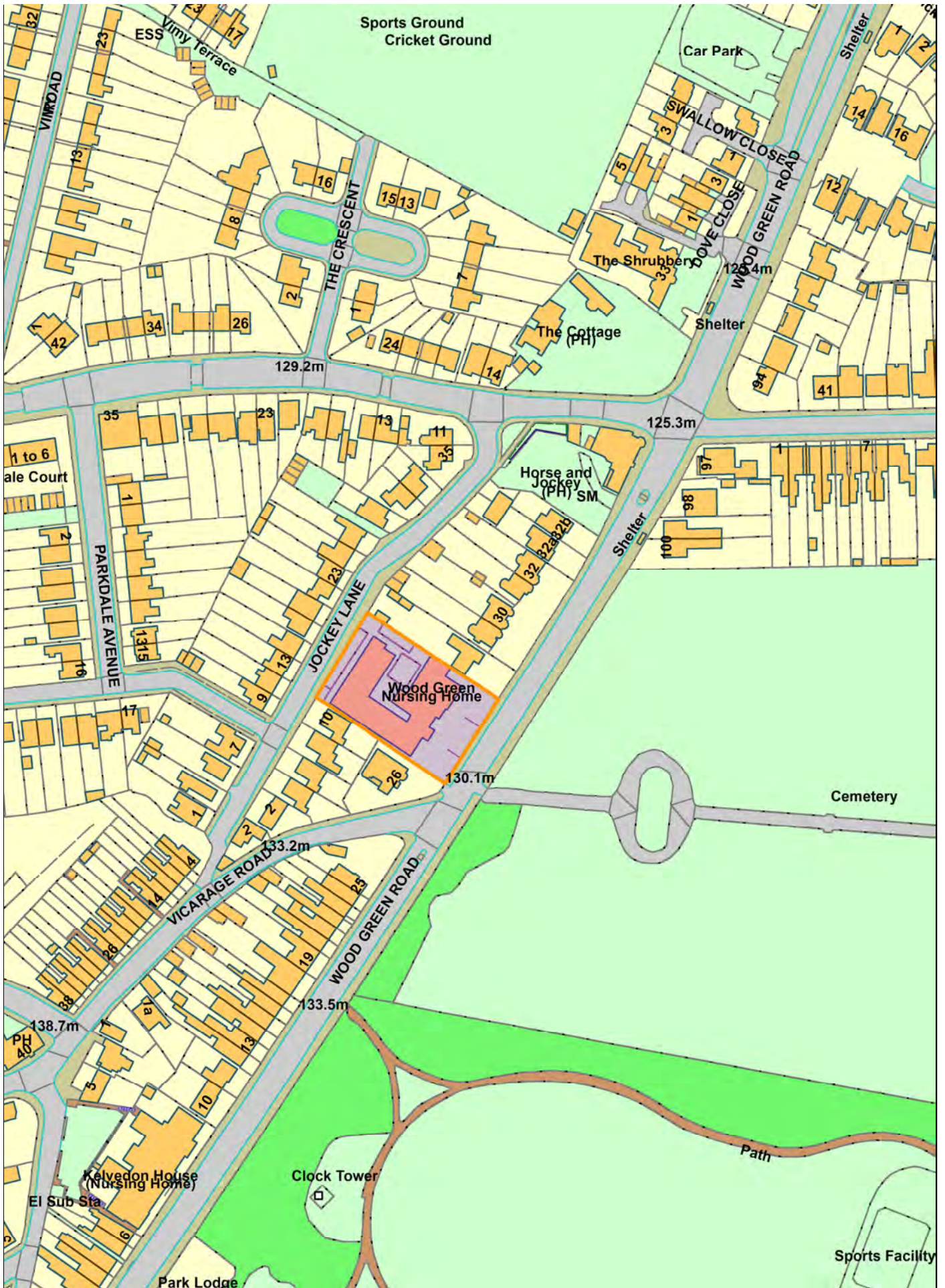
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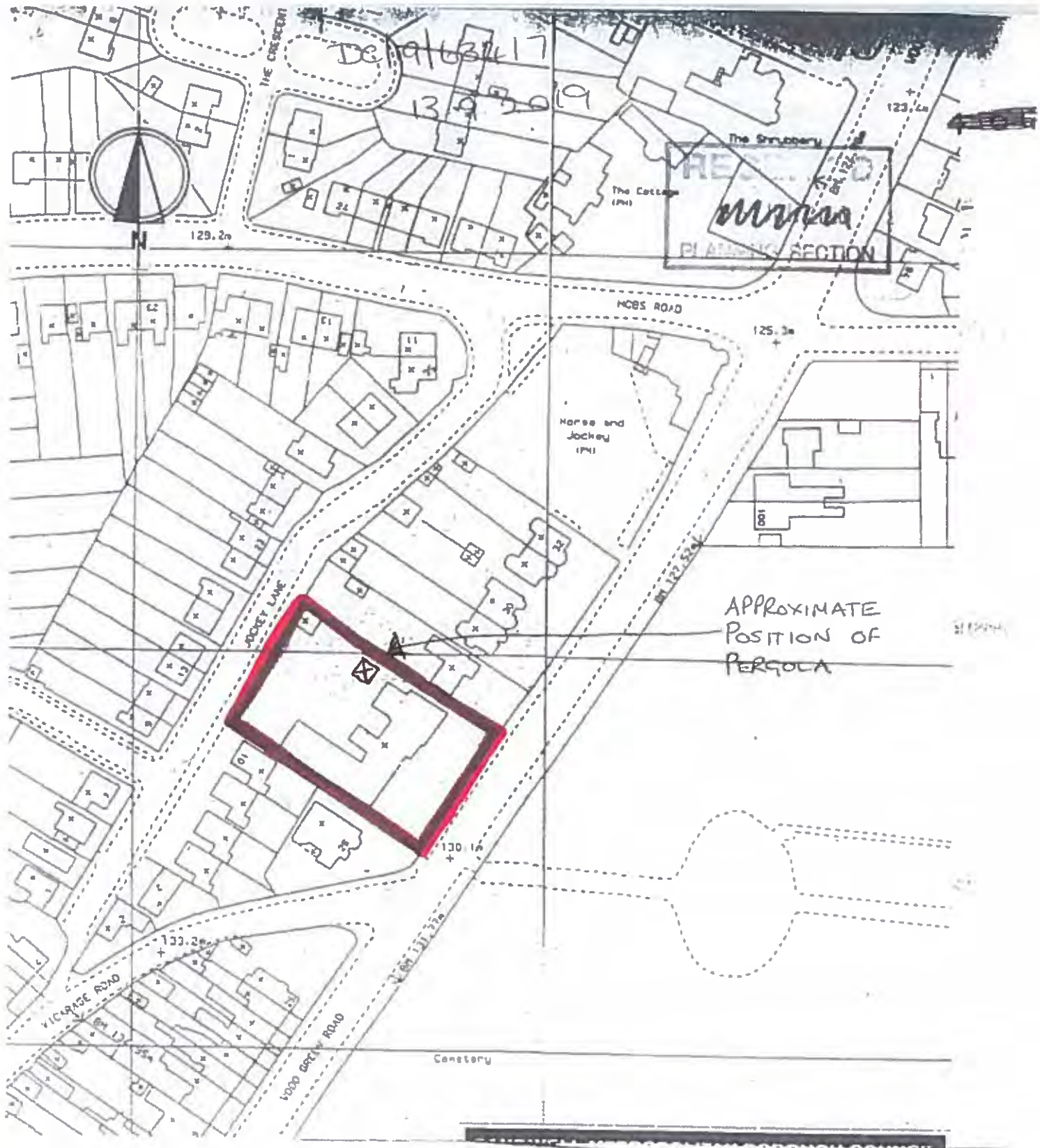
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Date	23 October 2019
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02



WoodGreen







DC/19/63417 – PHOTOGRAPHS FROM THE OBJECTOR



Burnt damage



Burnt damage



Burnt damage



Physical damage



Physical damage



Physical damage

DC/19/63417 – PHOTOGRAPHS FROM THE OBJECTOR





Physical damage and emergency exit



Physical damage and Tree removal

REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63465
Application Received	20 th September 2019
Application Description	Proposed two-storey side/rear extension to form staff living accommodation.
Application Address	1 Ray Hall Lane, Great Barr, Birmingham B43 6JE
Applicant	Mrs Julie Parsons
Ward	Charlemont with Grove Vale
Contribution towards Vision 2030:	 
Contact Officer(s)	Mrs Christine Phillips 0121 569 4040 Christine_phillips@sandwell.gov.uk

RECOMMENDATION

Approval subject to:-

- (i) The approval of external materials;
- (ii) That the building is used as ancillary accommodation to the main dwelling and not as a separate dwelling; and
- (iii) Construction hour limitations.

1. BACKGROUND

- 1.1 This application is being reported to your Planning Committee at the request of Councillor Liam Preece (refer to point 6.2 below for objection reasons).

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The Site is unallocated in the adopted development plan.

2.2 The material planning considerations which are relevant to this application are:-

The intended use and whether it is reasonably required
Design and appearance.

3. The APPLICATION SITE

3.1 The application refers to a detached house with associated horse and carriage hire business at the north-western end of Ray Hall Lane. The site is adjoined to the south by houses. Open space lies opposite and at the end of Ray Hall Lane there is vehicular access into Severn Trent.

3.2 The house has a large frontage drive which can accommodate approximately 6 cars. The business element is located at the rear of the site although horse boxes are parked in front of the house along Ray Hall Lane.

4. PLANNING HISTORY

4.2 Planning history in connection with the site largely relates to the associated business.

4.3 Relevant planning applications are as follows:-

DC/15/57917	Proposed demolition of existing stable block and replacement with new steel framed building for stabling of horses.	Approved 14/4/15
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DC/10/52935	Demolition of 3no derelict storage sheds and erection of 1no replacement.	Approved 9/2/11
-------------	---	--------------------

DC/03/41840	Renewal of temporary permission (App. No. DC/00/37277) for horse and carriage hire business.	Approved 19/1/04
-------------	--	---------------------

DC/00/37277	Change of use - Horse and carriage hire business in addition to existing residential use.	Temporary Consent 26/2/01
-------------	---	---------------------------------

5. APPLICATION DETAILS

5.1 The application is for a two-storey side extension to the house on its northern side. An existing dilapidated domestic garage would be replaced with a 10m x 3.4m x 7.2m high extension comprising of a lounge and kitchen on the ground floor with two bedrooms and a shower room above.

The extension would be internally linked to the main house and would not have separate front access. Construction would be in brickwork and the extension would be set back from the main front wall at first floor level and would be slightly lower in height than the main house roof.

- 5.2 Although the description of development indicates that the extension would be used for 'staff living accommodation', the applicant has explained that it would accommodate her son, who already lives at the main house and who also works for the business. One of the bedrooms would also be used by the applicant's Mother. It would not be used as separate or independent living accommodation.

6. PUBLICITY

- 6.1 The application has been publicised by neighbour notification with three objections letters being received from neighbouring residents along with an objection from Councillor Liam Preece.

6.2 Objections

Objections have been received on the following grounds:-

- (i) Over-development of the site;
- (ii) Parking issues from staff parking and horse box parking on Ray Hall Lane blocking the street; and
- (iii) Councillor Liam Preece also considers that the proposal is out of character with the surrounding area.

6.3 Responses to objections

I respond to the objector's comments in turn;

- (i) This is a modest two-storey side extension which replaces an existing dilapidated side garage, not in use for car storage. The extension would therefore not constitute over-development of the site.
- (ii) Existing parking issues around the site are noted but are related to the use of the horse and carriage business whereas this application is for an extension to the house. Furthermore, Ray Hall Lane has no double yellow parking restrictions along it and therefore permits parking on the highway. The proposal would not result in an increase in the number of staff employed at the business. The application is for a domestic extension to accommodate the applicant's family and can be restricted as such.
- (iii) The extension to the house accords to the advice contained in the adopted design policies and associated Revised Residential Design Guidance and would not detract from the character of the area.

6.4 **Support**

No comments have been received which support the application.

7. **STATUTORY CONSULTATION**

7.1 Highways – No objections.

7.2 Environmental Health (Air Quality) – No objections.

7.3 Environmental Health (Air Pollution and Noise) – Recommends limitations on construction hours.

8. **GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY**

8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. **LOCAL PLANNING POLICY**

9.1 The following sections of the Council's Development Plan are relevant:-

ENV3: Design Quality

SAD EOS9: Urban Design Principles

9.2 The proposed extension would be subservient to the main house and is designed to complement it. The above-mentioned design policies and associated Revised Residential Design Guidance are complied with.

10. **MATERIAL CONSIDERATIONS**

10.1 As regards the intended use, it is considered that the proposed use of the accommodation for the existing family is appropriate and it is agreed that it is reasonably required in this instance. In respect of the design and external appearance, the proposal is acceptable.

11. **IMPLICATIONS FOR SANDWELL'S VISION**

11.1 The proposal supports Ambitions 7 and 10 of the Sandwell Vision 2030:-

11.2 Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.

11.3 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people’s lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

12.1 The proposed extension is of a satisfactory design, reasonable use and there are no highway objections to the proposal.

13. STRATEGIC RESOURCE IMPLICATIONS

13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

19.1 Refer to the summary of the report (12).

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

20.1 There will be no impact

21. APPENDICES:

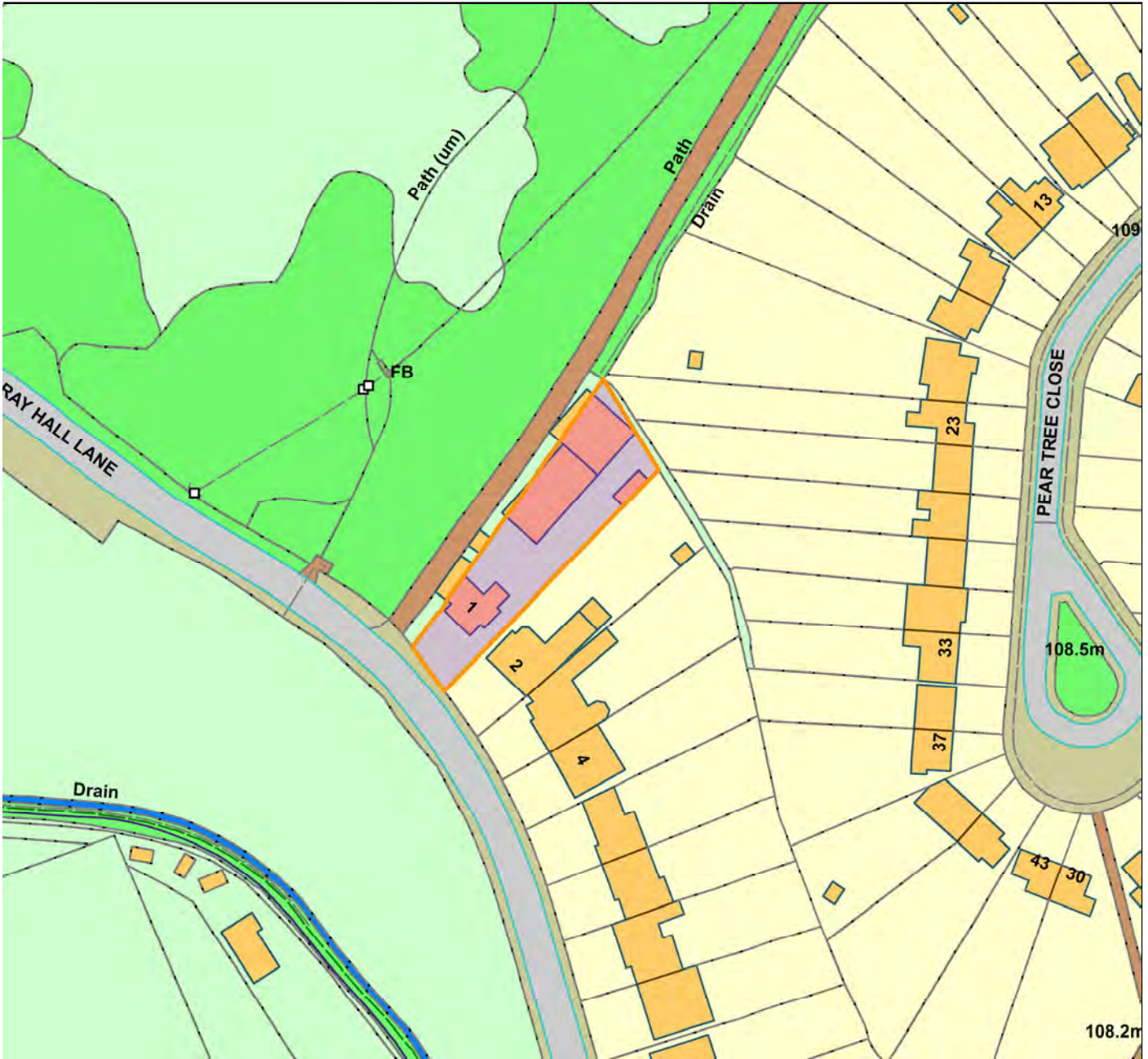
Site Plan

Context Plan

Plan No. 1458-01

Plan No. 1459-02

DC/19/63465
1 Ray Hall Lane, Great Barr



Legend

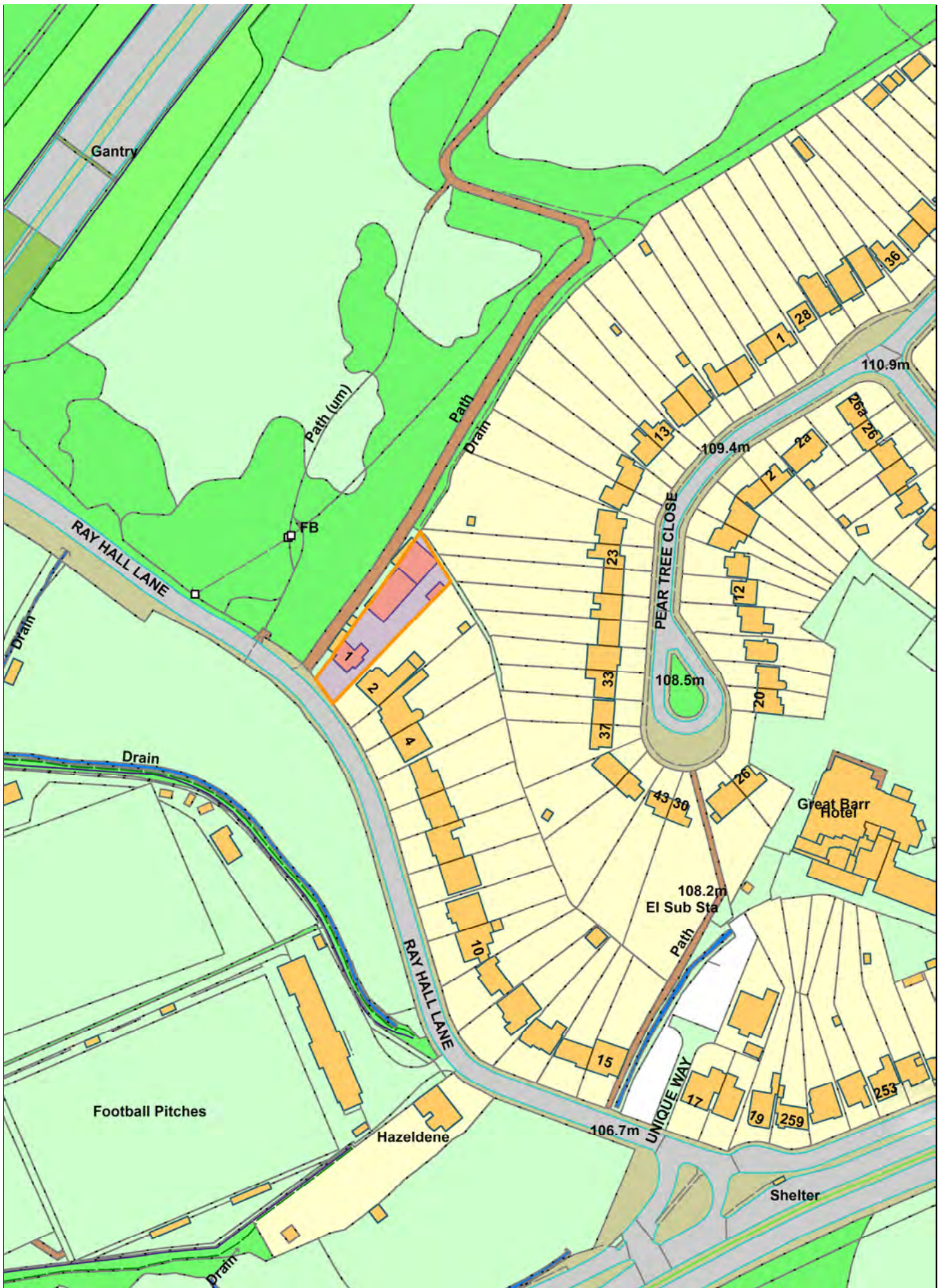
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Scale 1:1251



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Organisation	Not Set
Department	Not Set
Comments	
Date	22 November 2019
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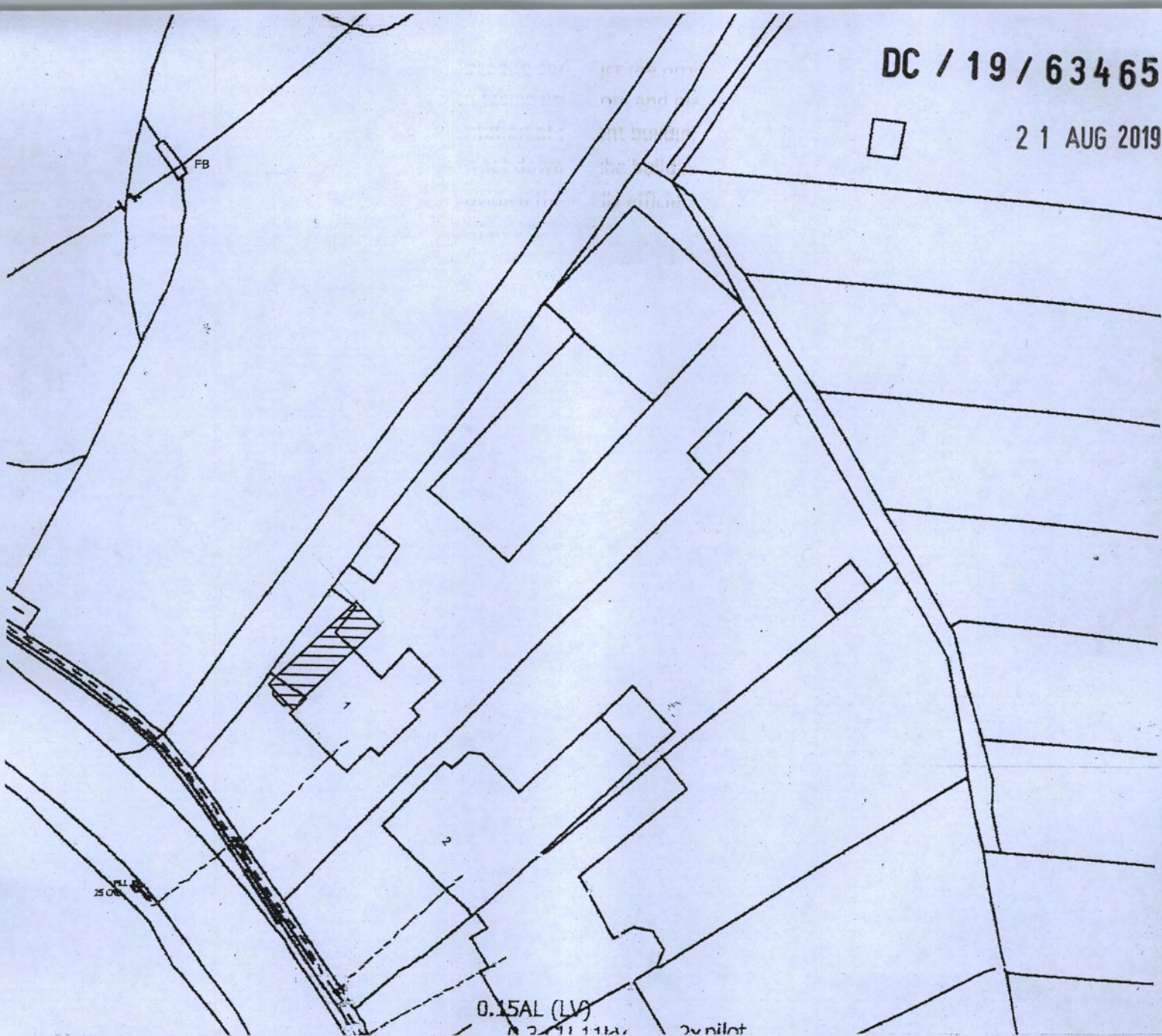
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DC / 19 / 63465

21 AUG 2019



Site Plan.

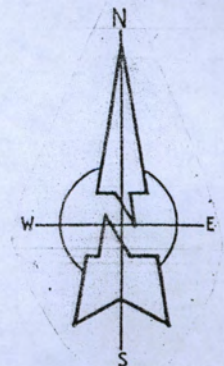
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Project: Proposed Extension.

Site: 1 Ray Hall Lane, Great Barr. B43 6JE

Date: July 2019

Job No. 1458 - 02



Scale 1500

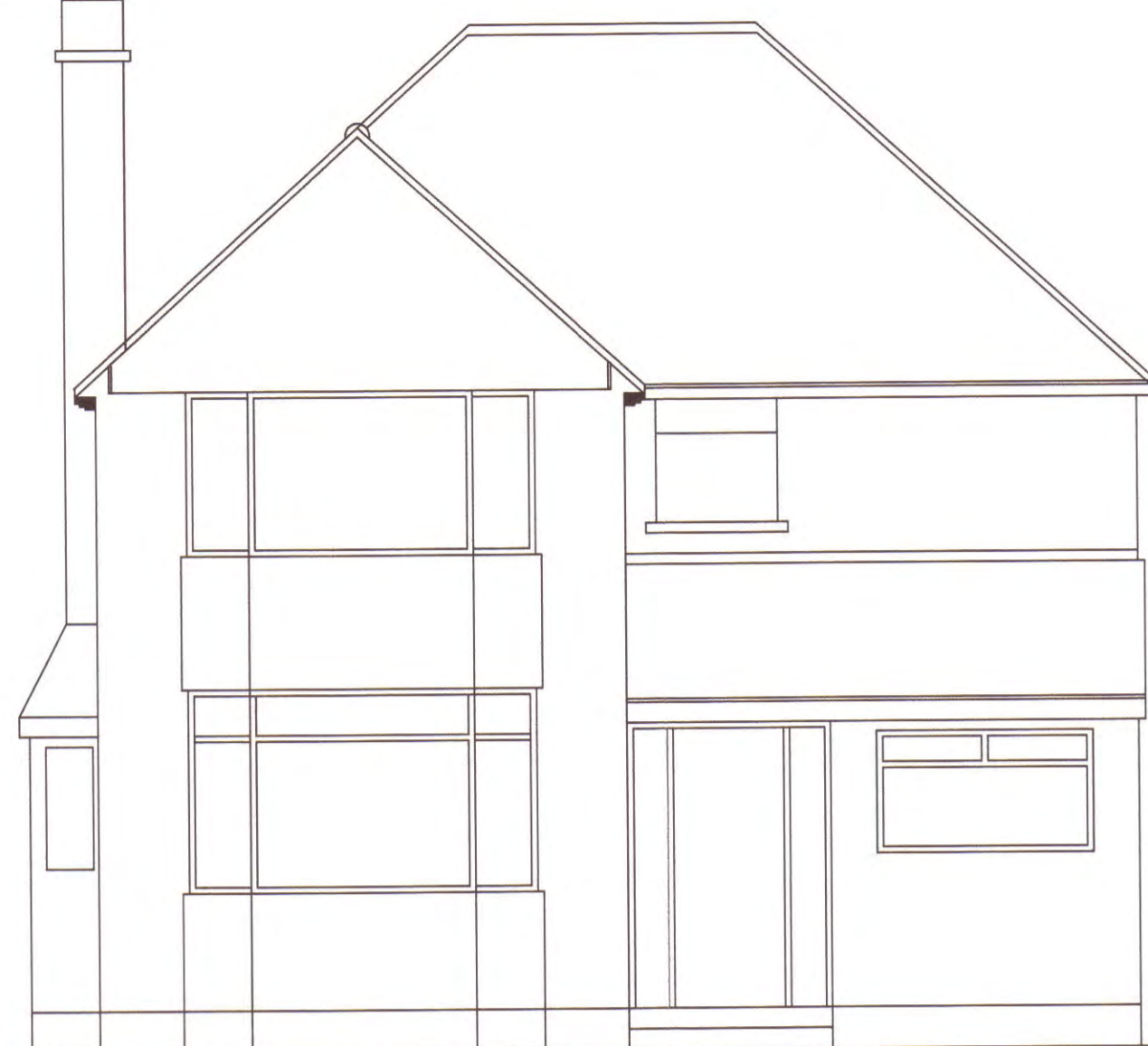
Halas PBC
173 Lower High Street,
Stourbridge,
West Midlands.
DY8 1TG

Office: 01384 444472

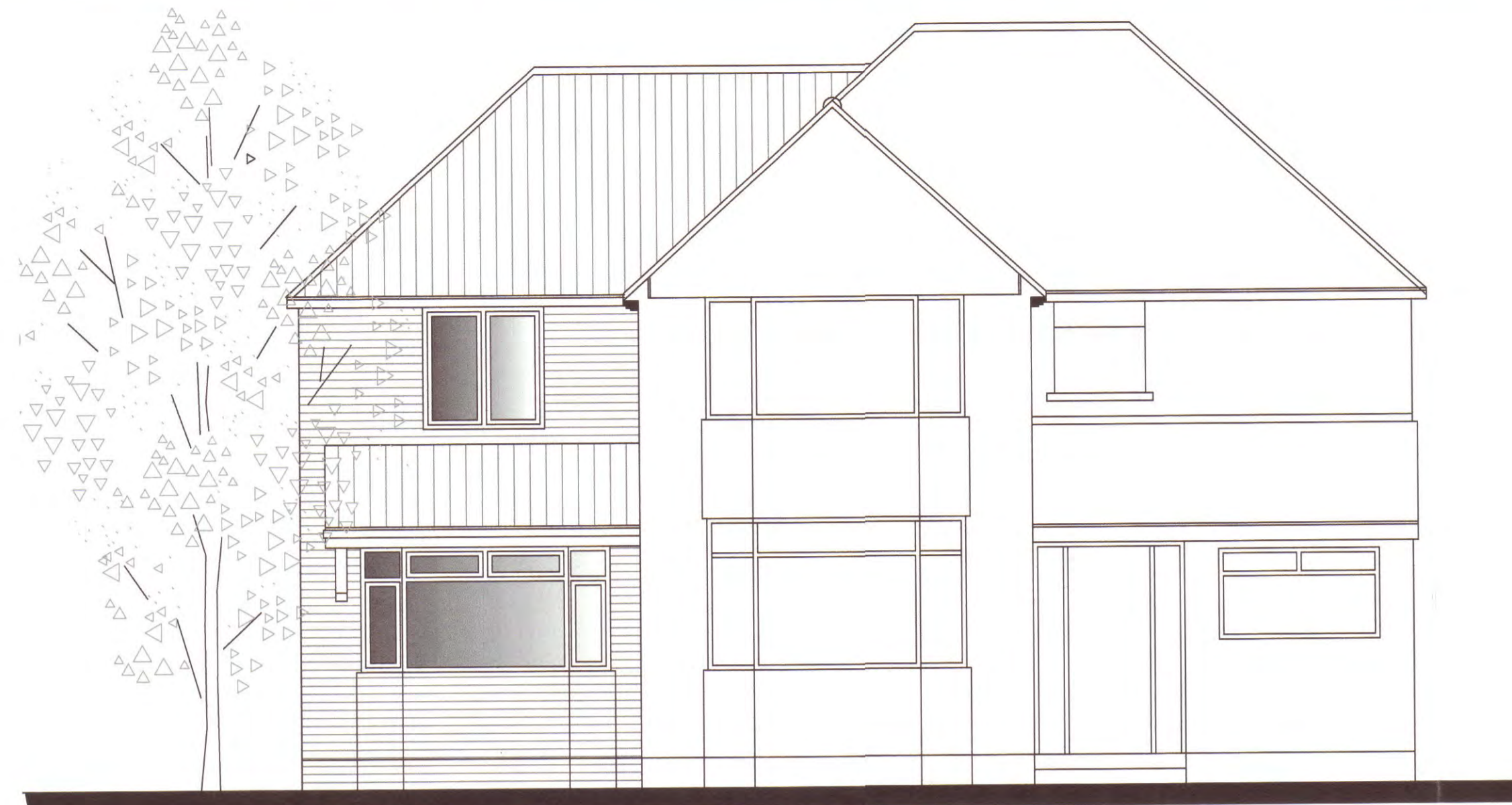
Mobile 07980 145997

E-mail : enquiries@halaspbc.co.uk

Figured Dimensions Only To Be Taken From This Drawing
Do Not Scale.



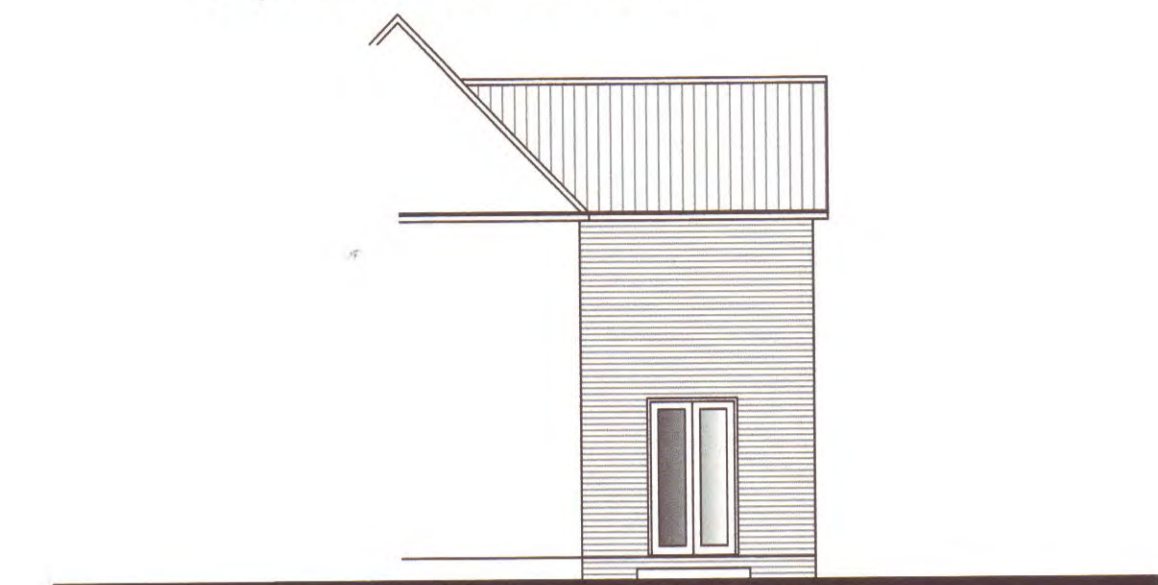
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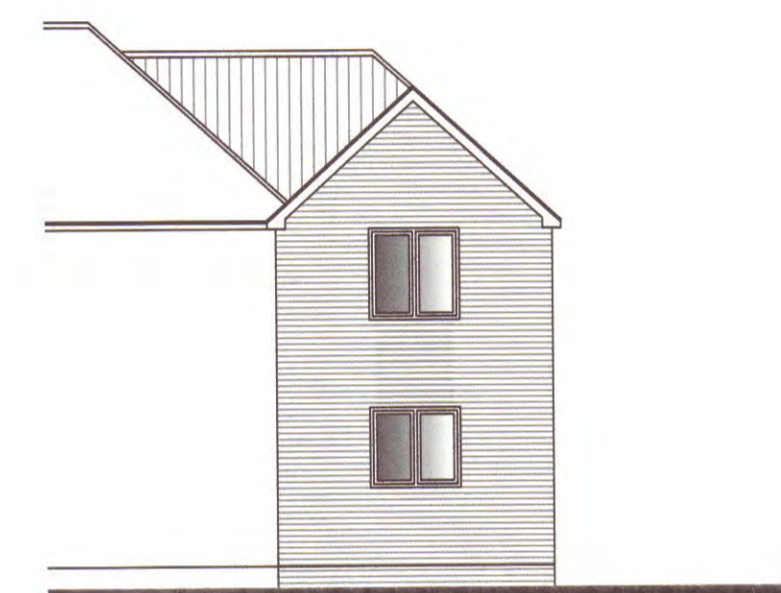
Proposed Front Elevation



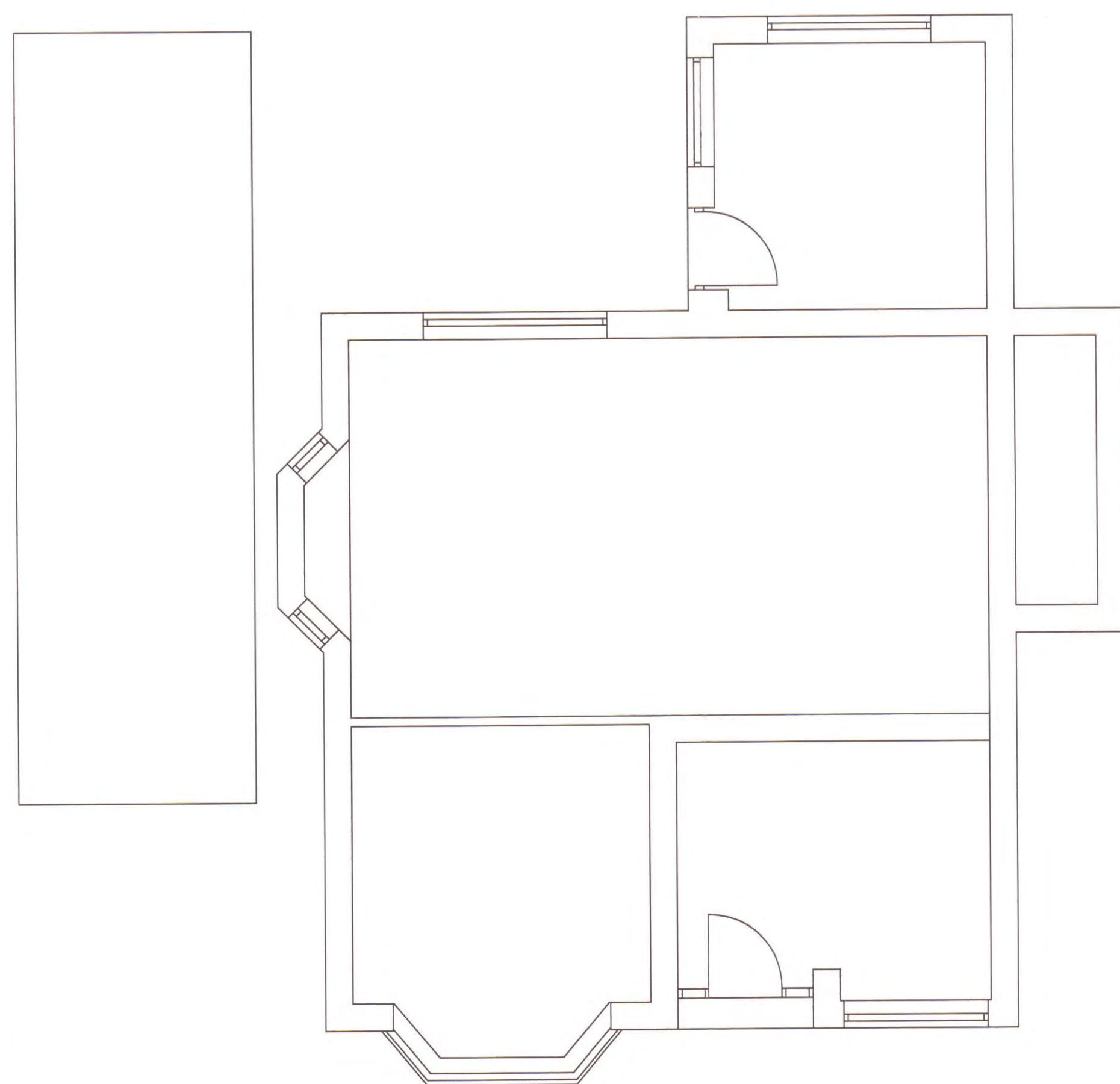
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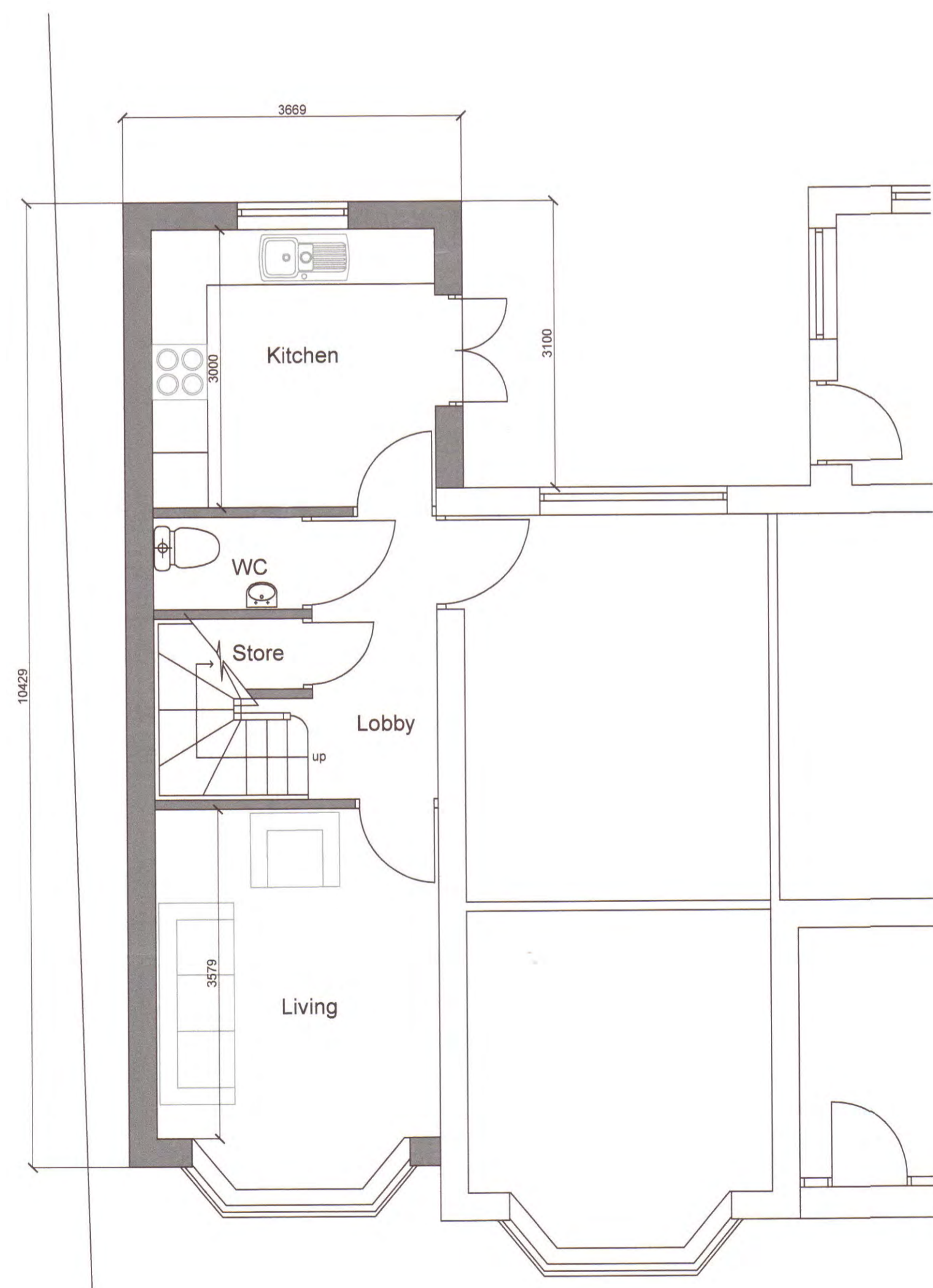
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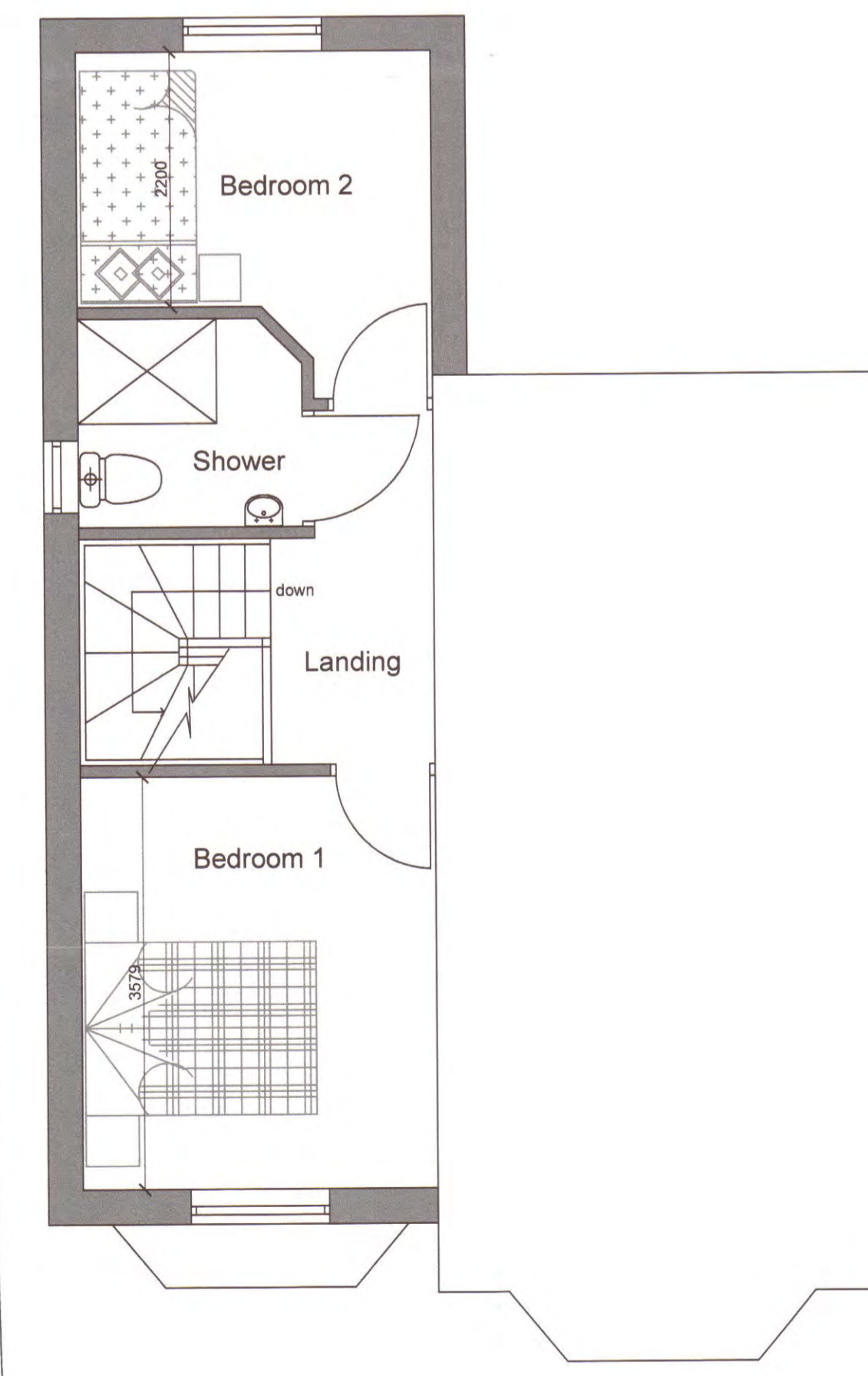
Proposed Rear Elevation



Existing Ground Floor Plan



Proposed Ground Floor Plan



Proposed First Floor Plan

SKETCH DRAWING

Date	Revisions

Proposed Extension
1 Ray Hall lane
Great Barr
Birmingham
B43 6JE

Scale	Job No.	Dwg No.	Rev.
1:50	JK	1458 - 01	Date: July 2019

HALAS

P B C


173 Lower High Street,
Stourbridge,
West Midlands,
DY8 1TG

ARCHITECTURAL/BUILDING
DESIGN CONSULTANTS
Office: 01384 395948 (Mob: 07980 145997)
E-mail: halasdesignltd@aol.com

SCALE 1:50 0m 1m 2m 3m 4m 5m

REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63514
Application Received	9 th September 2019
Application Description	Proposed first floor side extension.
Application Address	26 Heather Road Smethwick B67 7LW
Applicant	Mr Arfan Mohammed
Ward	St Pauls
Contribution towards Vision 2030:	
Contact Officer(s)	Dave Paine 0121 569 4869 David_paine@sandwell.gov.uk

RECOMMENDATION

That planning permission is granted subject to:-

- (i) Approval of external materials.

1. BACKGROUND

- 1.1 This application is being reported to your Planning Committee because the agent is an employee of Sandwell MBC,

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The Site is unallocated in the adopted development plans.
- 2.2 The material planning considerations which are relevant to this application are:

Loss of light and/or outlook
Public visual amenity
Design, appearance and materials

3. The APPLICATION SITE

- 3.1 The application relates to a linked semi-detached property on the south-east side of Heather Road. This is a residential area in character.

4. PLANNING HISTORY

- 4.1 In 1986, permission was granted for a lounge, kitchen and toilet extension. Prior approval was deemed not required for a proposed single storey rear extension in 2019.
- 4.2 Relevant planning applications are as follows:-

DC/20336	Lounge, kitchen and toilet extension.	Approved 09.06.1986
PD/19/01228	Proposed single storey rear extension measuring: 6.0m L x 4.0m H (3.0m to eaves)	Prior approval not required 09.08.2019

5. APPLICATION DETAILS

- 5.1 The applicant proposes to construct a first floor side extension above an existing garage. Minor ground floor external and internal alterations are proposed which do not require planning consent.
- 5.4 The extension would measure 7.55 metres deep by 2.1 metres wide by 6.45 metres high, and would create a fourth bedroom, an enlarged third bedroom and a new bathroom. The first floor extension would be set back 0.5 metre from the frontage of the existing garage.

6. PUBLICITY

- 6.1 The application has been publicised by neighbour notification letter with no responses.

6.2 Objections

No objections were received.

6.4 Support

No supporting comments have been received.

7. STATUTORY CONSULTATION

There are no statutory consultation responses to report for this application.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

- 8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

- 9.1 The following sections of the Council's Development Plan are relevant:-

ENV3: Design Quality
SAD EOS9: Urban Design Principles

- 9.2 These policies emphasise the need for good design and that proposals should be in scale with the local area. The introduction of a set-back at the first floor of the side extension with a pitched roof, set-down from the main roof would ensure the existing design is respected while ensuring the subservience of the extension.

10. MATERIAL CONSIDERATIONS

- 10.1 Loss of light/and or outlook. There would be an impact on the side facing window of the neighbouring house. However, this window is not deemed to serve a habitable room.
- 10.2 Design, appearance and materials. The design accords with our design policy standards as referred to in para 9.2.
- 10.3 Public visual amenity. The inclusion of the set back would preserve the original design of the dwelling, ensuring the overall street scene is not degraded.

11. IMPLICATIONS FOR SANDWELL'S VISION

- 11.1 The proposal supports Ambition 10 of the Sandwell Vision 2030:-
- 11.5 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

- 12.1 This proposal accords with relevant design policy and would provide additional living accommodation for the occupants whilst ensuring the impacts on neighbours would be minimised.

13. STRATEGIC RESOURCE IMPLICATIONS

- 13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

- 14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

- 15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

- 16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

- 17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

- 18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

- 19.1 Refer to the summary of the report (12).

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

- 20.1 there will be no impact.

21. APPENDICES:

Location Plan

Context Plan

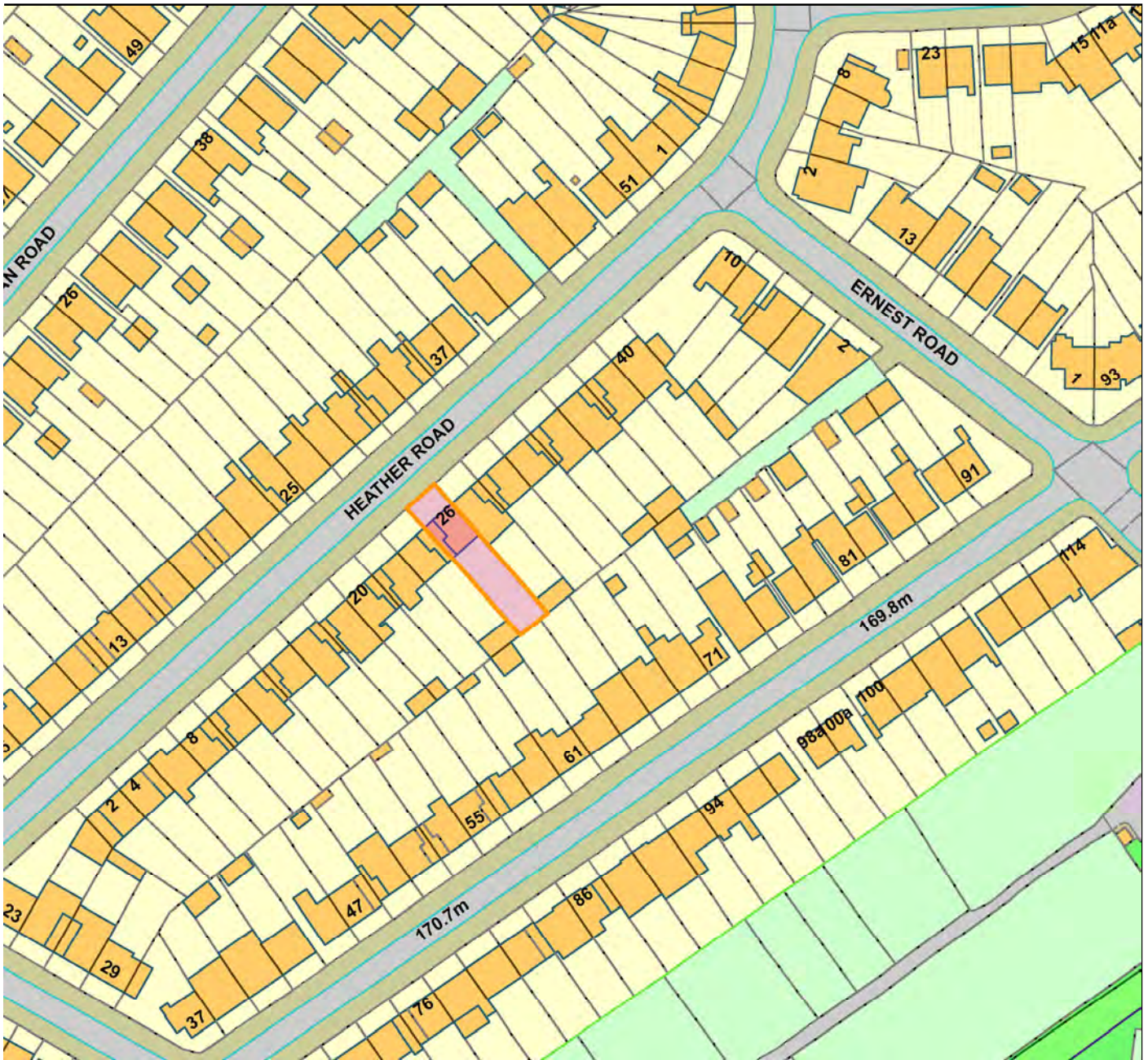
Plan No. 2019-02 Rev 01

Plan No. 2019-05 Rev 02

Plan No. 2019-06 Rev 02

Plan No. 2019-07 Rev 02

DC/19/63514
26 Heather Road, Smethwick



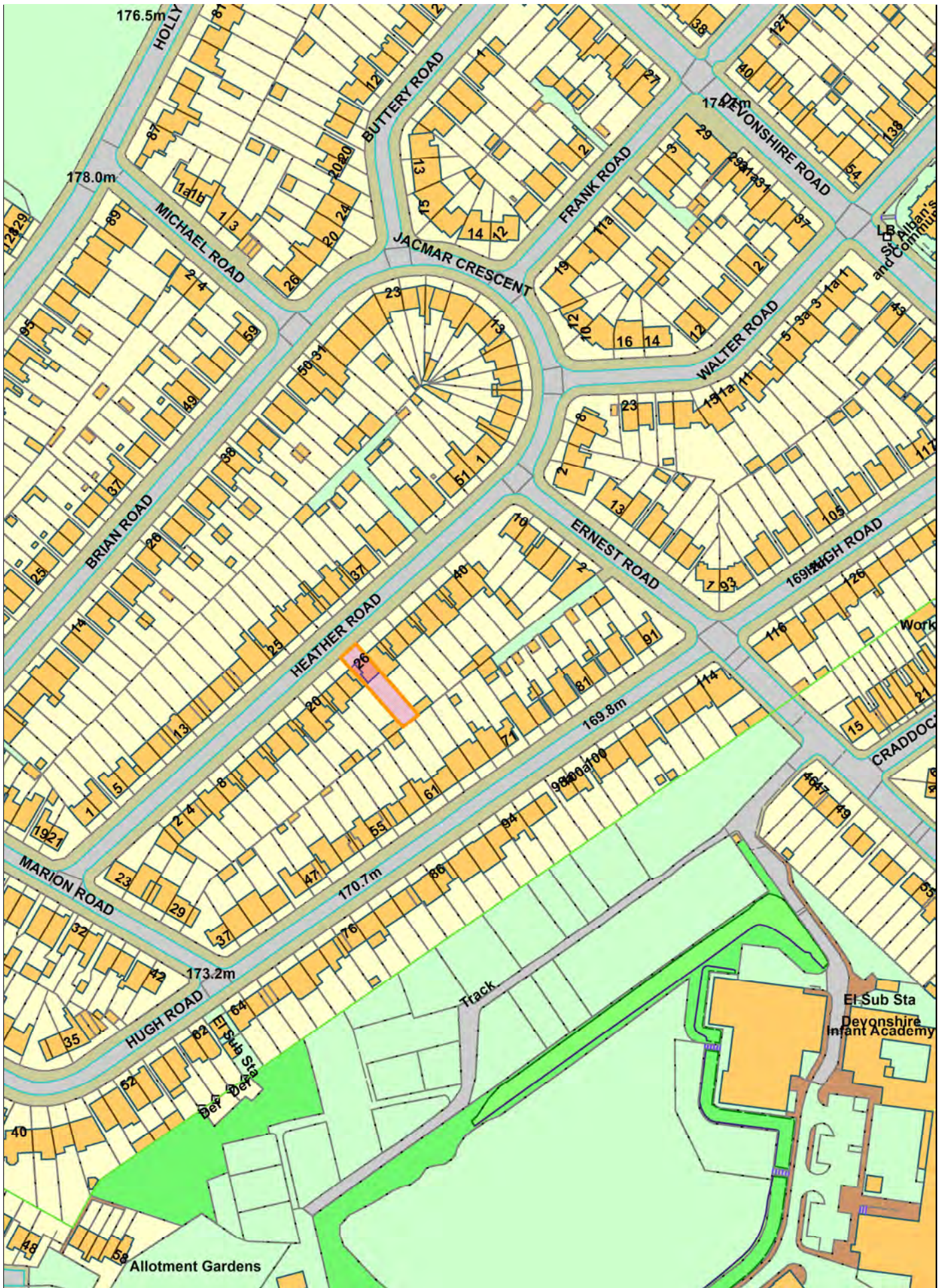
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Date	22 November 2019
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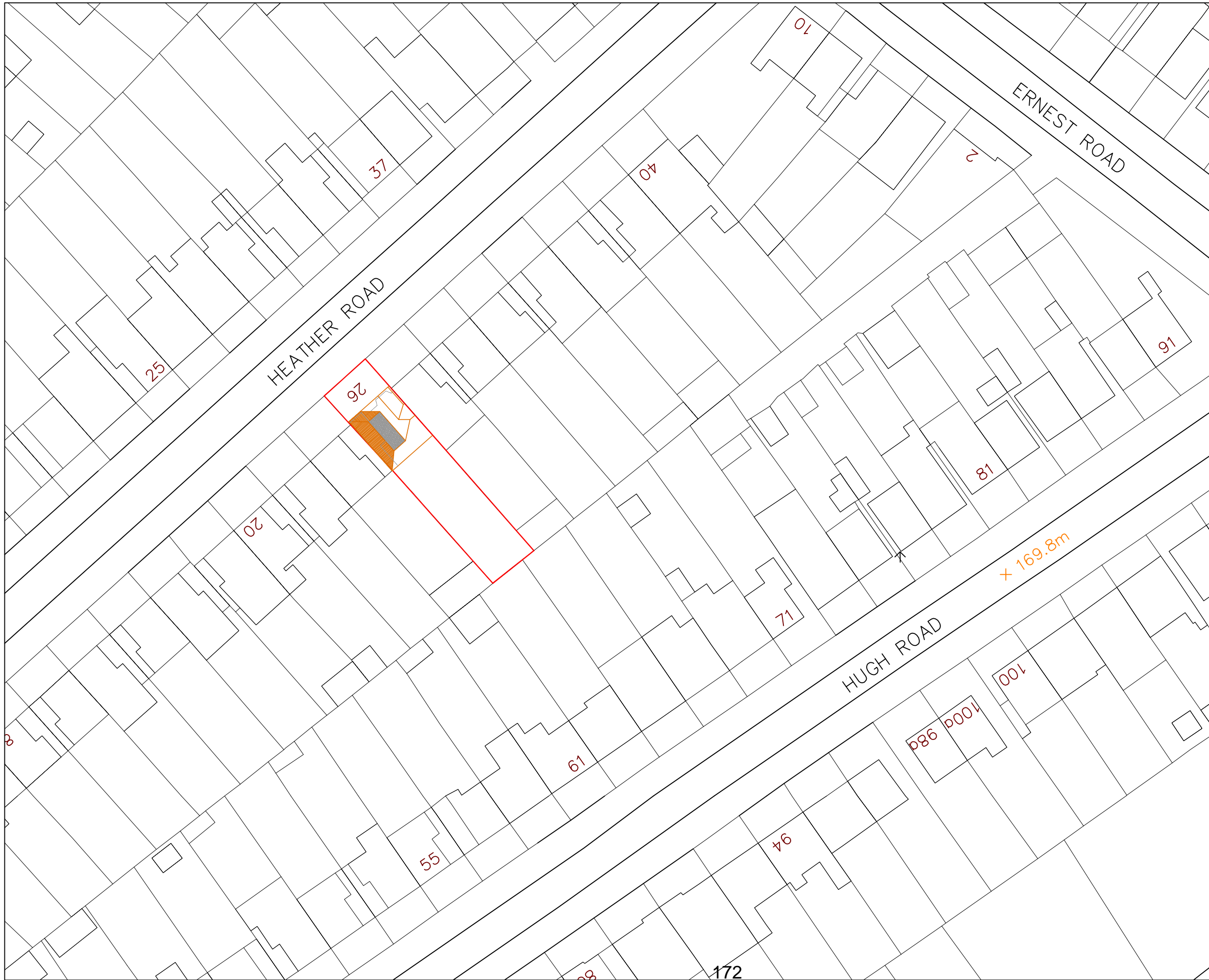


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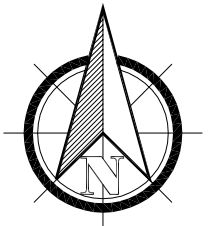


Site Plan
Scale 1:500



NOTES:
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REVISIONS



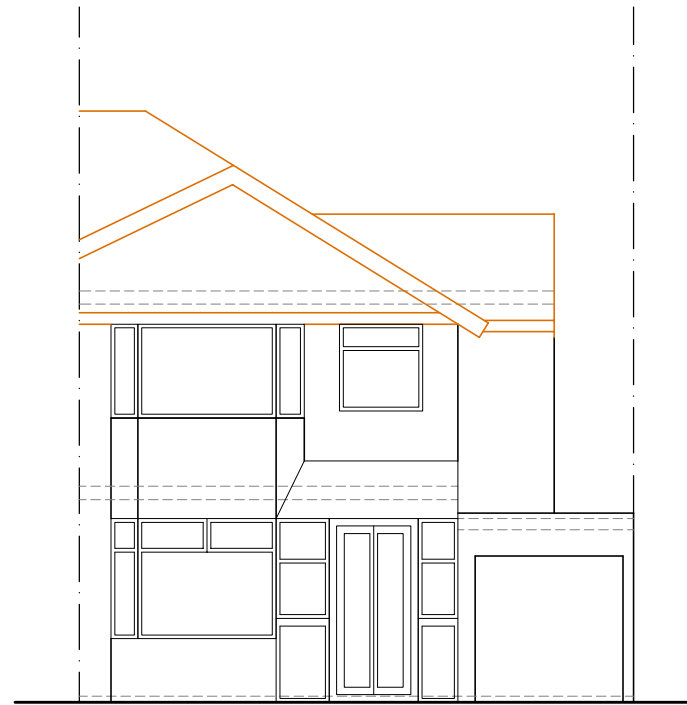
CLIENT:
Mr Arfan

JOB:
26 Heather Road, Smethwick, B67 7LW

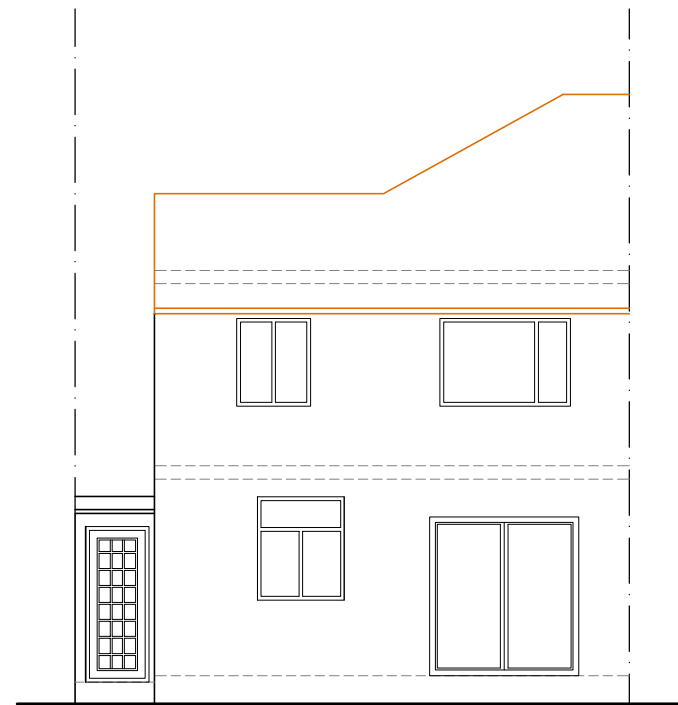
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Site Plan
Proposed

DRG NO.	REV.	Paper
2019-02/	01	A3
DATE: May' 19	SCALE: 1.500	

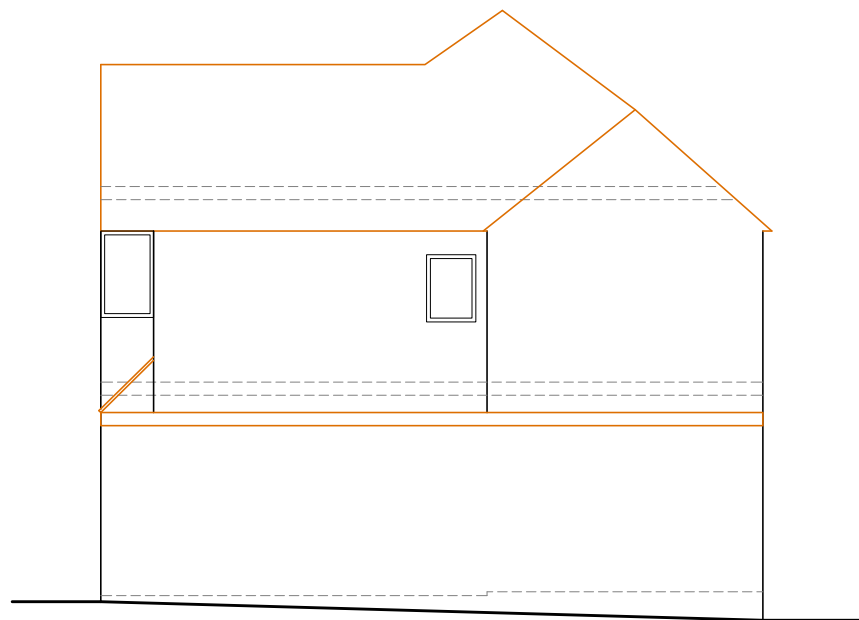
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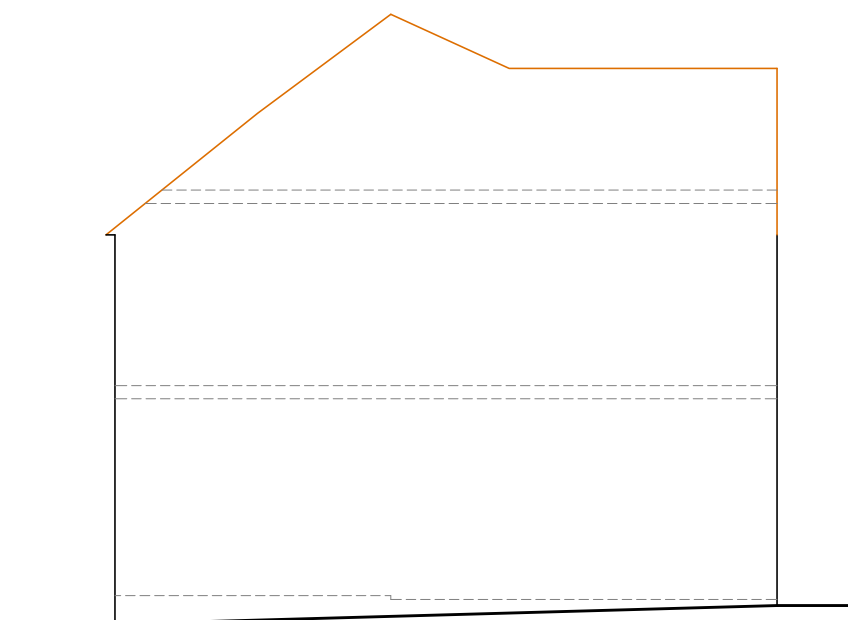
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

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REVISIONS

CLIENT:

Mr Arfan

JOB:

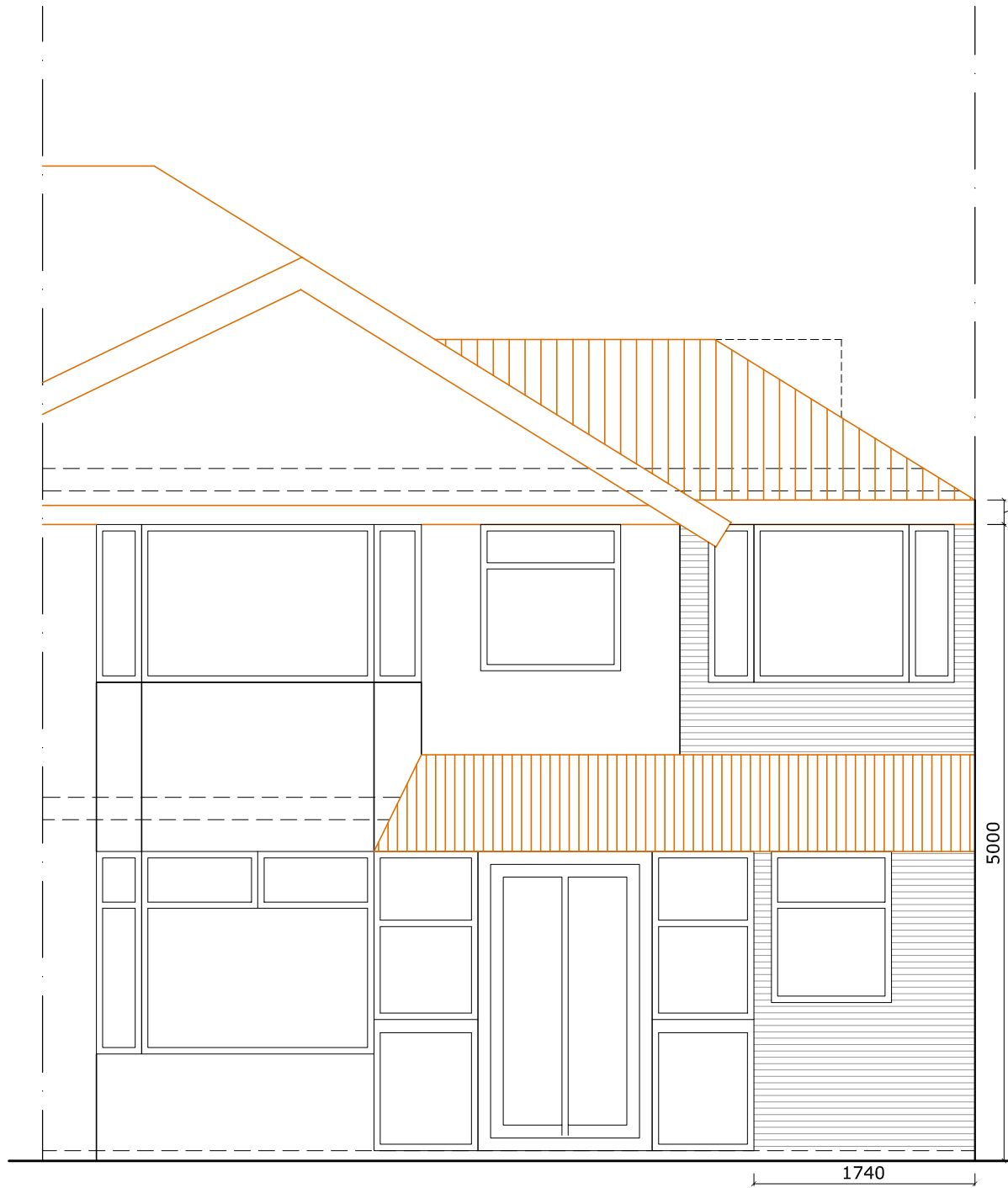
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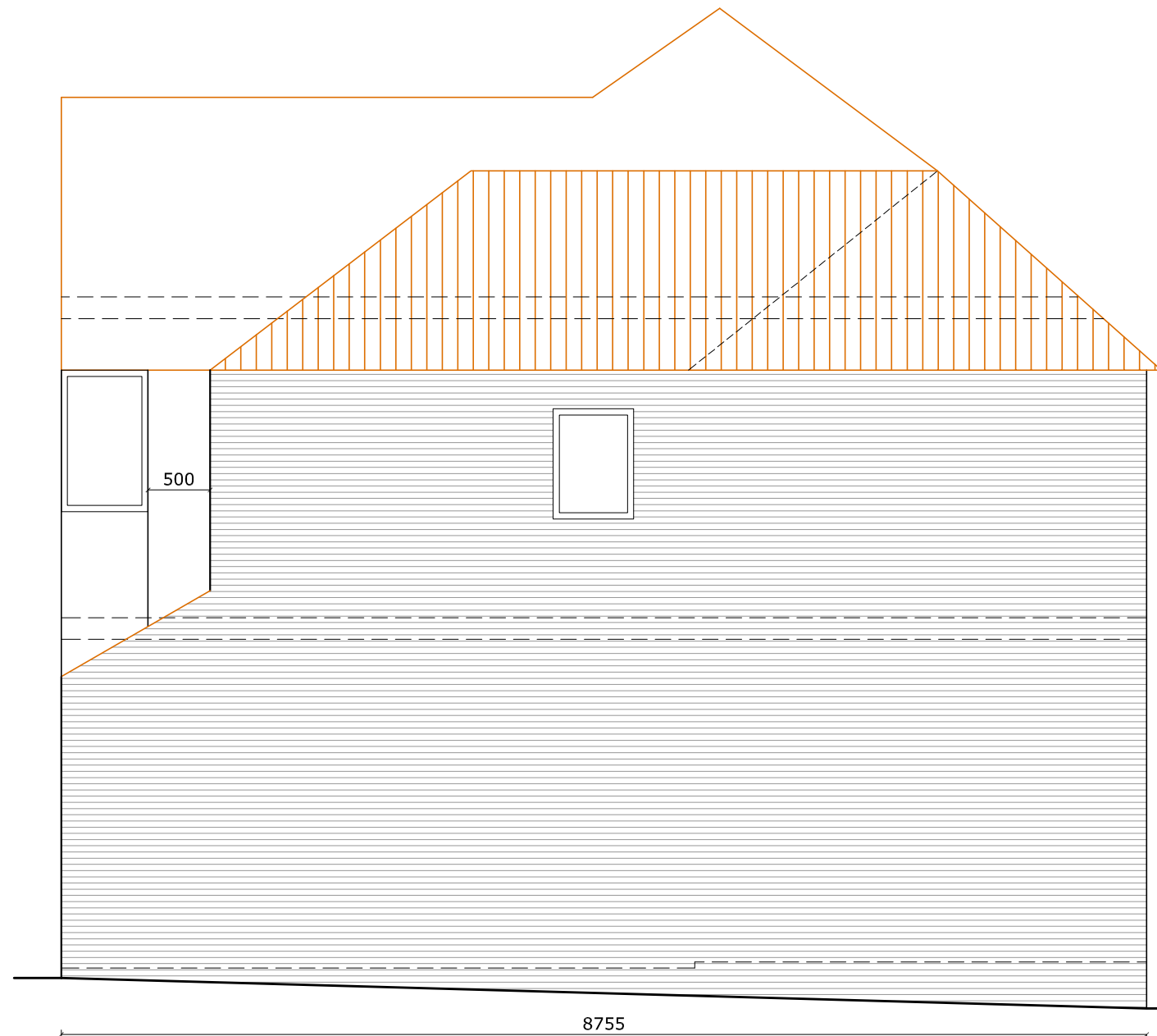
Existing Elevations

DRG NO.	REV.	Paper
2019-04/	01	A3
DATE: May' 19	SCALE: 1:100	

Proposed



Front Elevation



Side Elevation

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REVISIONS

CLIENT:

Mr Arfan

JOB:

26 Heather Road, Smethwick, B67 7LW

DRG TITLE:

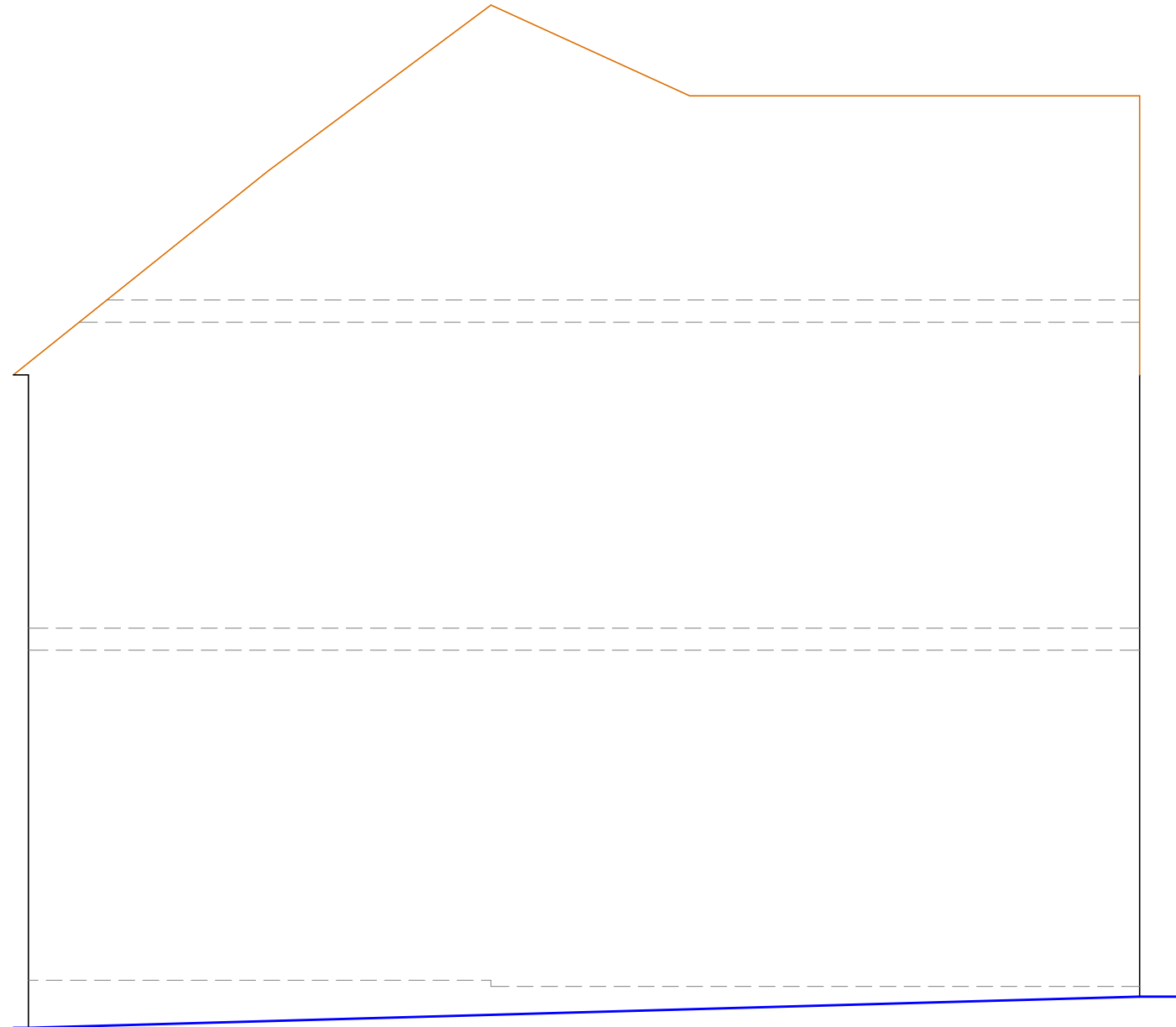
Proposed Elevations

DRG NO.	REV.	Paper
2019-06/	02	A3
DATE: Oct' 19	SCALE: 1:50	

Proposed



Rear Elevation



Side Elevation

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REVISIONS

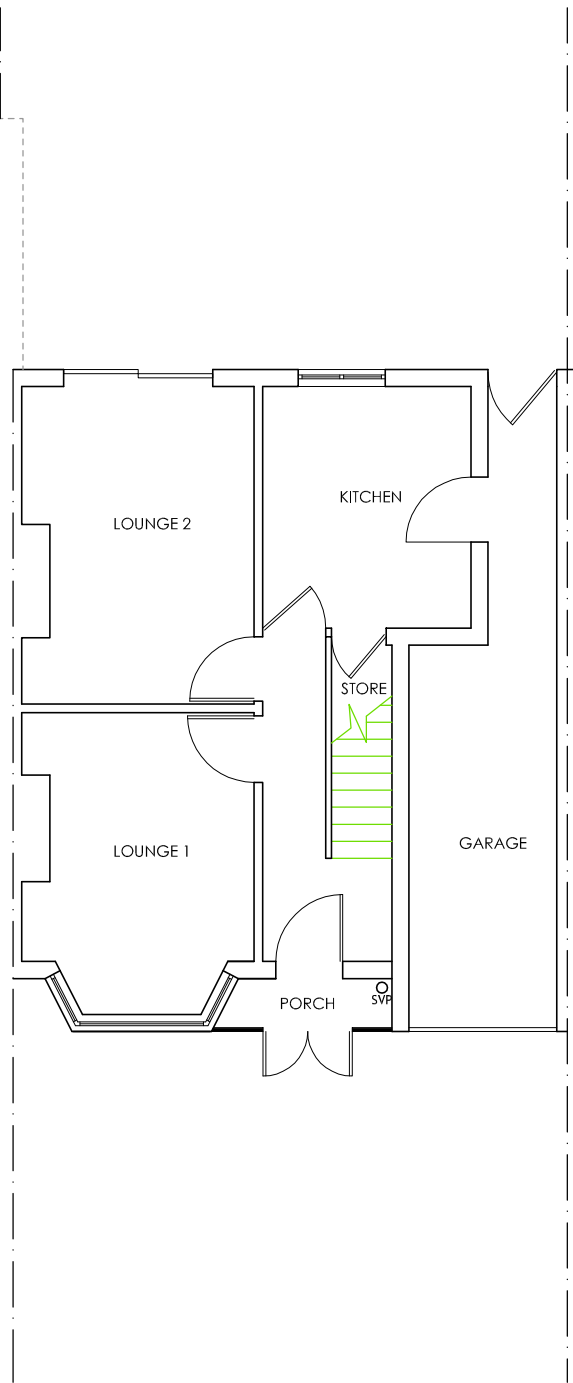
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 Mr Arfan

JOB:
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 B67 7LW

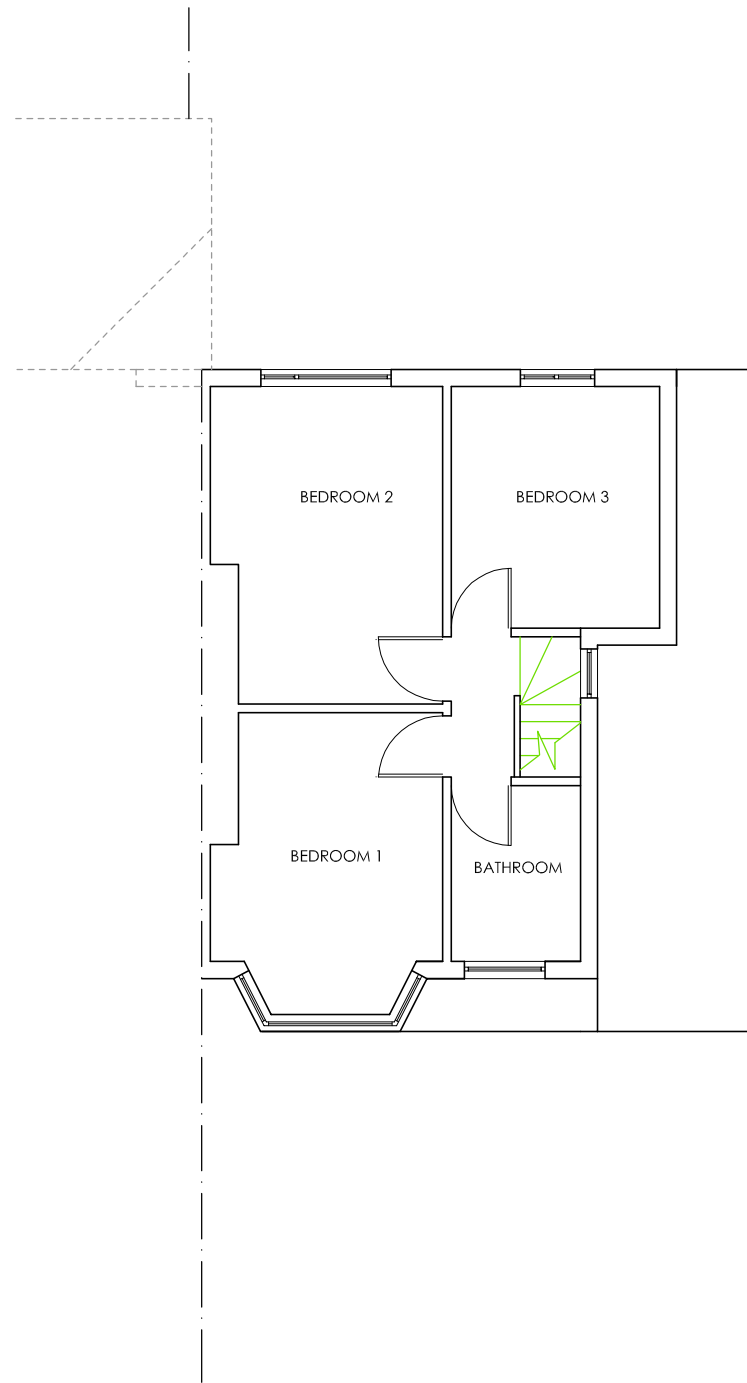
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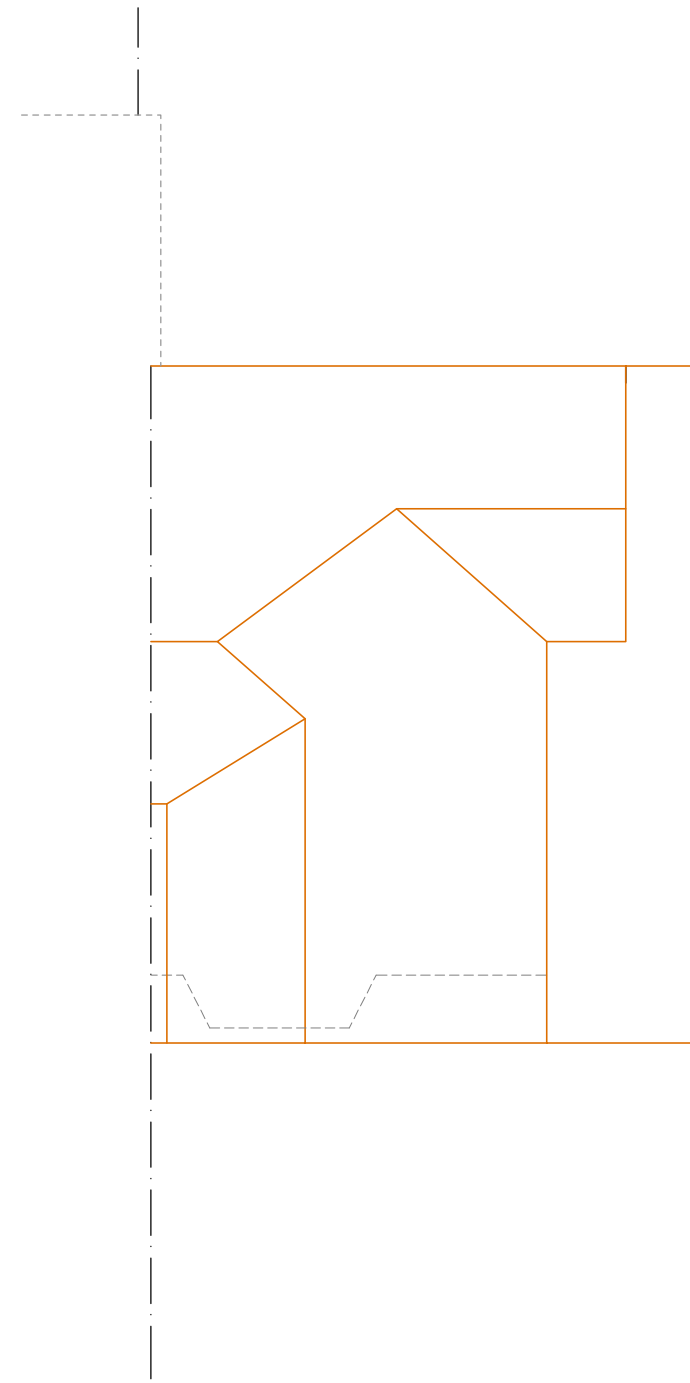
Existing



Ground Floor



First Floor



Roof Plan

NOTES:

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REVISIONS

CLIENT:

Mr Arfan

JOB:

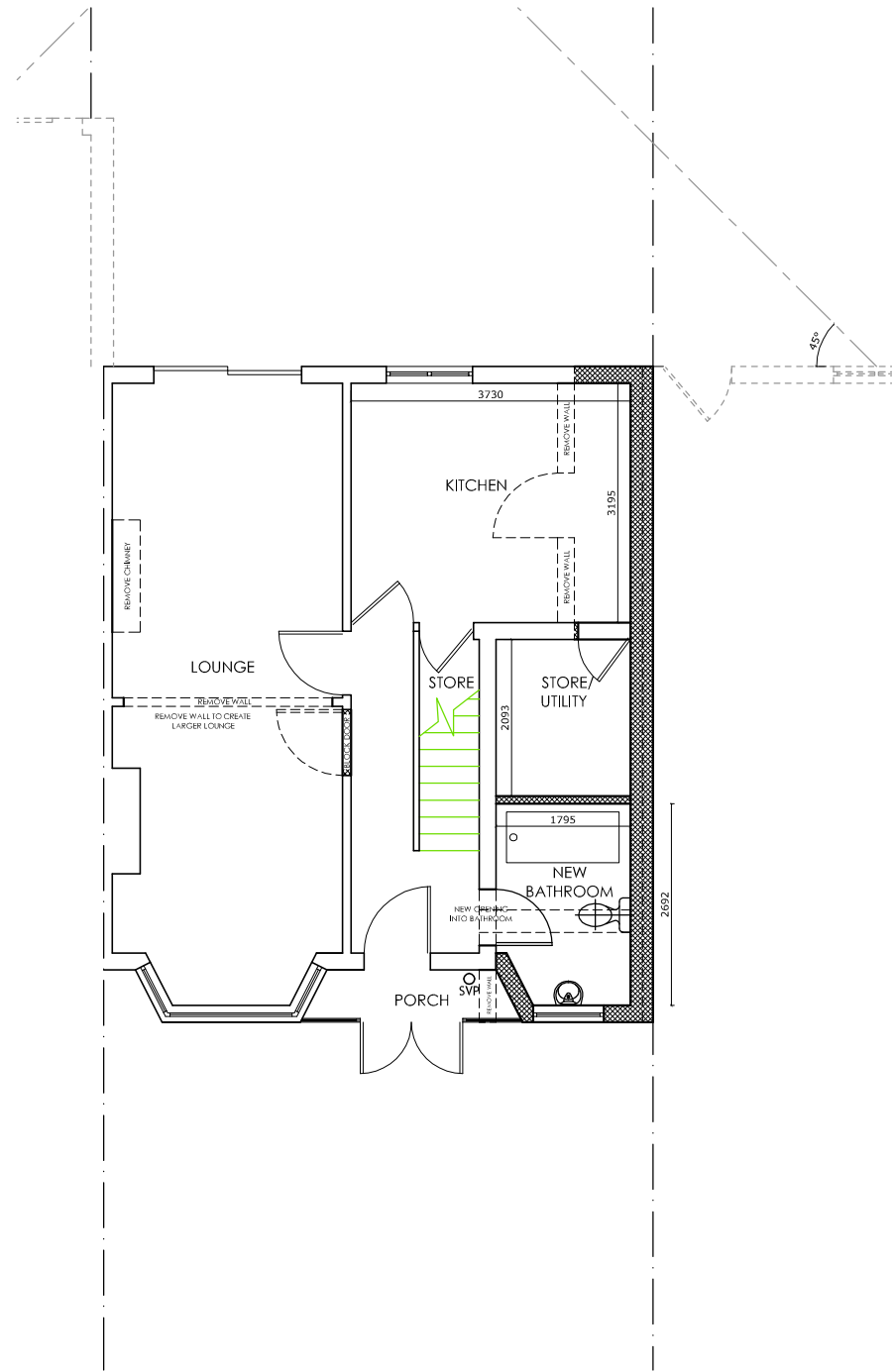
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DRG TITLE:

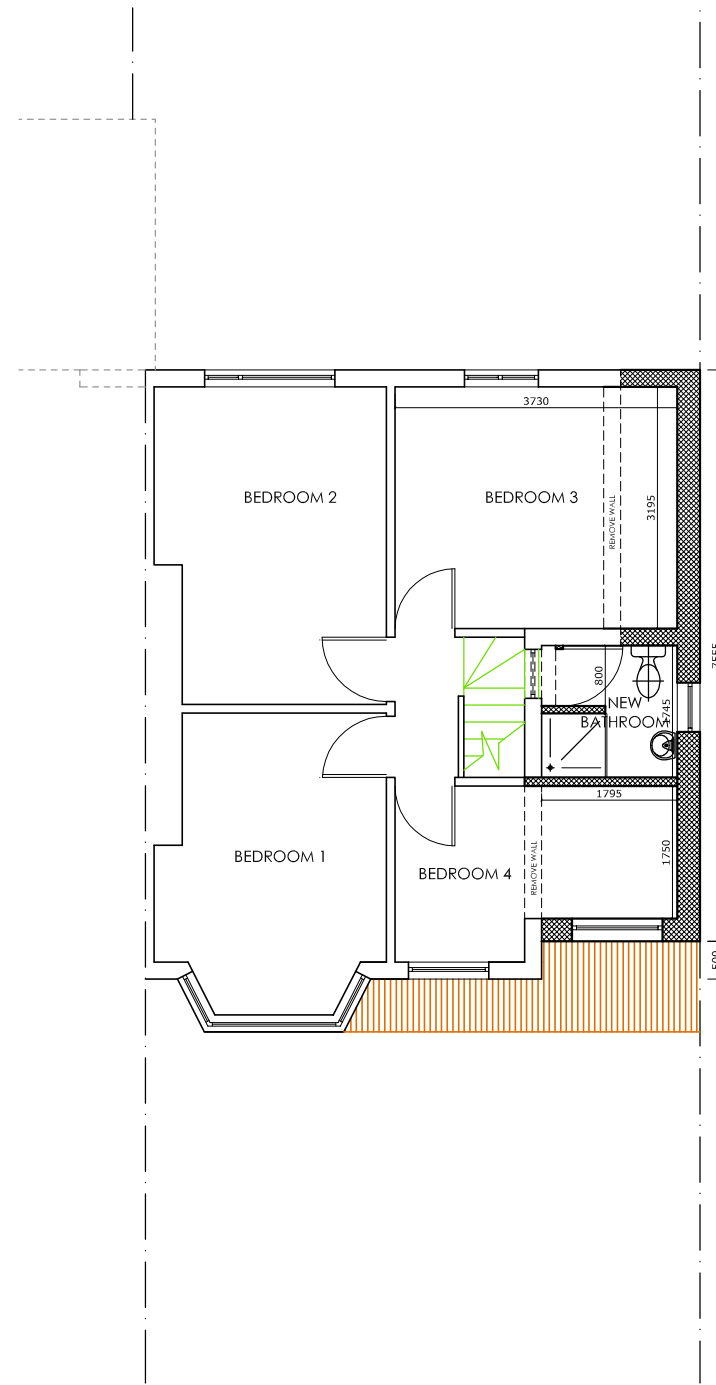
Existing Plans

DRG NO.	REV.	Paper
2019-03/	01	A3
DATE: May' 19	SCALE: 1:100	

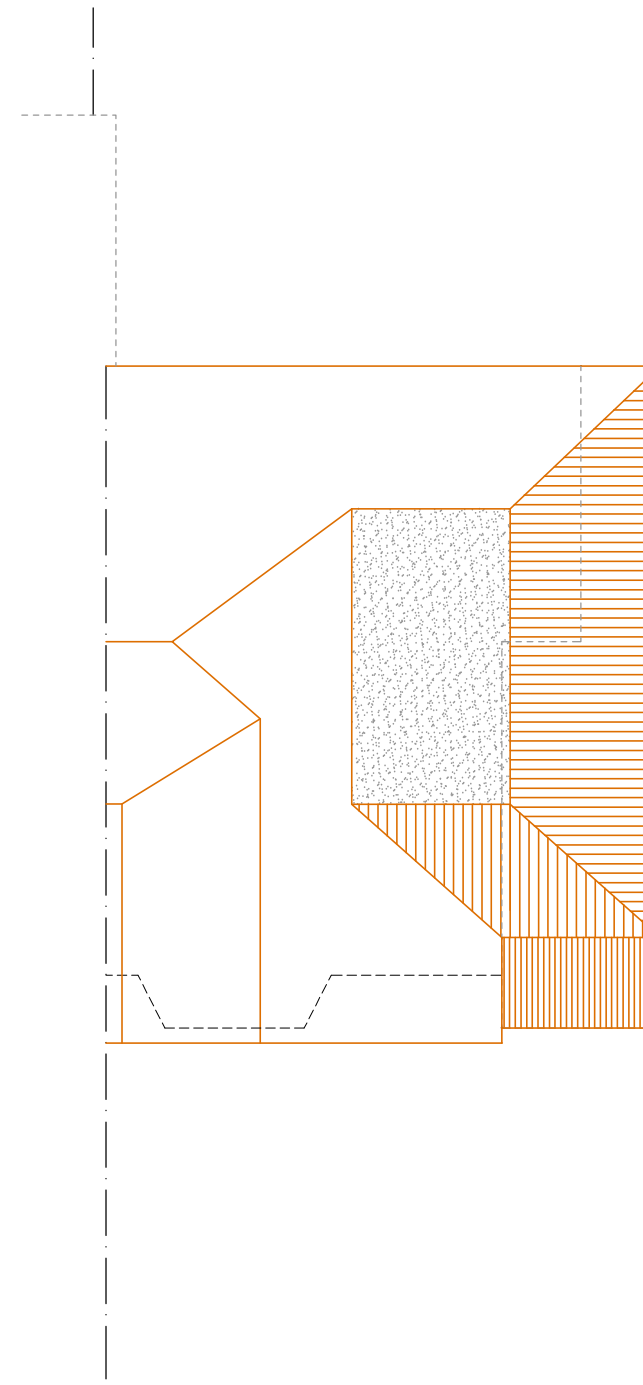
Proposed



Ground Floor



First Floor



Roof Plan

NOTES:

Do not scale from this drawing.
 All contractors must visit the site and be responsible for taking and checking dimensions
 Any discrepancy between drawings, specifications and site conditions must be brought to the attention of the architect.
 This drawing and the works are the copyright of Tayyab Tasleem & Associates.

REVISIONS

CLIENT:

Mr Arfan

JOB:

26 Heather Road, Smethwick, B67 7LW

DRG TITLE:

Proposed Plans

DRG NO.	REV.	Paper
2019-05/	02	A3
DATE: Oct' 19	SCALE: 1:100	

REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63520
Application Received	9 September 2019
Application Description	Proposed garage in rear garden.
Application Address	77 Hill Top, West Bromwich, B70 0PX
Applicant	Mr. Major S Tiwana
Ward	Hateley Heath
Contribution towards Vision 2030:	
Contact Officer(s)	Ervin Hoxha 0121 569 4269 Ervin_hoxha@sandwell.gov.uk

RECOMMENDATION

That planning permission is granted subject to: -

- (i) The approval of external materials;
- (ii) That the building is used for vehicle parking and storage as ancillary accommodation to the main dwelling and not a separate dwelling,

1. BACKGROUND

- 1.1 This application is being reported to your Planning Committee because four material objections have been received.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The site is not allocated in the adopted development plans.
- 2.2 The material planning considerations which are relevant to this application are:

The intended use and whether it is reasonably required;
Design, appearance and materials, and

Impact on neighbouring residential amenity in terms of loss of light, outlook and privacy.

3. The APPLICATION SITE

- 3.1 The application refers to a detached two storey house on the east side of Hill Top, West Bromwich.
- 3.2 The house has a large front drive and a substantial rear garden and is surrounded by residential properties which includes two storey house along Hill Top and bungalows on Allens Avenue at rear.

4. PLANNING HISTORY

- 4.1 The property benefits from a disabled shower/bedroom/ kitchen extension which has been implemented and a more recent consent for a proposed two storey side and single storey rear extensions, which has not been implemented.
- 4.2 Relevant planning applications are as follows:-

DC/28173	Disabled shower/bedroom/ kitchen extension.	Approved 29/05/1992
DC/13/55747	Proposed two storey side and single storey rear extensions.	Approved 05/06/2013

5. APPLICATION DETAILS

- 5.1 The application is for the construction of a detached garage with toilet in rear garden which would be sited on the eastern side at the bottom of the rear garden on part of an existing slabbed area used to park at least one vehicle, approximately 5m away from the rear garden boundaries of 3 and 4 Allens Avenue.
- 5.2 The garage would measure 5.6m wide x 8.45m long x 2.85m high and would be constructed in brickwork. Internally the garage would be open plan and contain a toilet with wash hand basin facing the rear of the applicant's house. There would be no windows on the rear elevation facing the rear gardens of 3 and 4 Allens Avenue. The garage would have a roller shutter to the northern elevation accessed via Allens Avenue. On the eastern elevation, it would have a door and three windows, one of which would serve the toilet and be obscurely glazed.

6. PUBLICITY

6.1 The application has been publicised by neighbour notification and four material objections and one neutral comment have been received.

6.2 Objections

Objections have been received on the following grounds:-

- (i) Loss of privacy;
- (ii) Loss of outlook;
- (iii) Loss of light/over-shadowing;
- (iv) The building could be used as living accommodation;
- (v) Details of foul and service water drainage; and

Immaterial issues have been raised regarding loss of value to their properties, access rights to use Allens Avenue and the method of construction.

6.3 Responses to objections

I respond to the objectors' comments in turn;

- (i) Given that there are no windows on the rear elevation of the garage, there would be no loss of privacy;
- (ii) Under the permitted development rights, the applicant could build the structure within the same footprint up to 2.5m in height. The proposed development is only 350mm higher than permitted development rights, and therefore it is considered that the additional height is not significant to warrant refusal;
- (iii) The bungalows are separated from the proposal by the driveway serving no. 4 Allens Avenue which is enclosed by 1.8 metres fencing to both the boundary on the application site and the boundary of the bungalows. In addition given the orientation of the sun the building will have a limited effect on loss of light to the nearest bungalow (no. 3 Allens Avenue). It is therefore considered that this would not warrant refusal of the application.
- (iv) The use of the proposed garage can be conditioned to be retained as per the description of the development; and
- (v) The drainage details will be dealt with under building regulations due to the size of the building.

6.4 Support

6.4.1 No comments have been received in support of the application.

7. STATUTORY CONSULTATION

- 7.1 There are no statutory consultation responses to report for this application.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

- 8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

- 9.1 The following sections of the Council's Development Plan are relevant:

ENV3: Design Quality
SAD EOS9: Urban Design Principles

- 9.2 These policies emphasise the need for good design and that proposals should be in scale with the local area. It is considered that the scheme would be appropriate in scale within the locality and the use of brick materials would be complementary to the local area.

10. MATERIAL CONSIDERATIONS

- 10.1 The key material considerations with this proposal are design referred to above (9.2) and the intended use and whether the development is reasonably required and the impact on neighbouring residential amenity in terms of loss of light, outlook and privacy.
- 10.2 Intended use and reasonably required. The applicant has verbally confirmed that the garage would be used to store one of their cars and other household items, which is considered to be reasonably required. This can be controlled by planning conditions to ensure that it would be used for these purposes and not used as a separate and independent dwelling.
- 10.4 As indicated in 6.3 above, (i) the proposal has no windows on the rear elevation, (ii) is not significant in height, (iii) is separated from the boundary of the nearest bungalow by the existing boundary treatments and the driveway and (iv) the orientation of the sun will have a limited effect on the loss of light/overshadowing. It is therefore considered that there would be no significant impact on residential amenity in terms of loss of light, outlook or privacy.

11. IMPLICATIONS FOR SANDWELL'S VISION

11.1 The proposal supports Ambition 10 of the Sandwell Vision 2030:

11.2 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

12.1 The proposed development is acceptable in terms of its design, scale and appearance which accords with relevant policies and would not detract from residential amenity.

13. STRATEGIC RESOURCE IMPLICATIONS

13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

14.1 This application is submitted under section 55 of the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

19.1 Refer to the summary of the report (12).

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

20.1 There will be no impact.

21. APPENDICES:

Site Plan

Context Plan

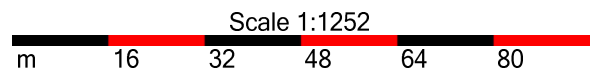
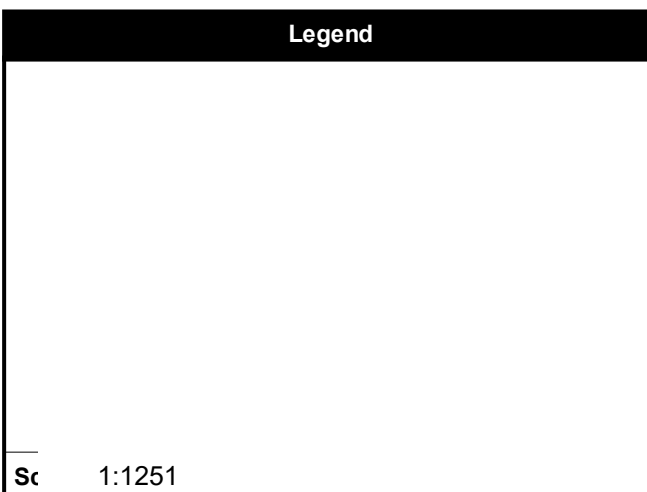
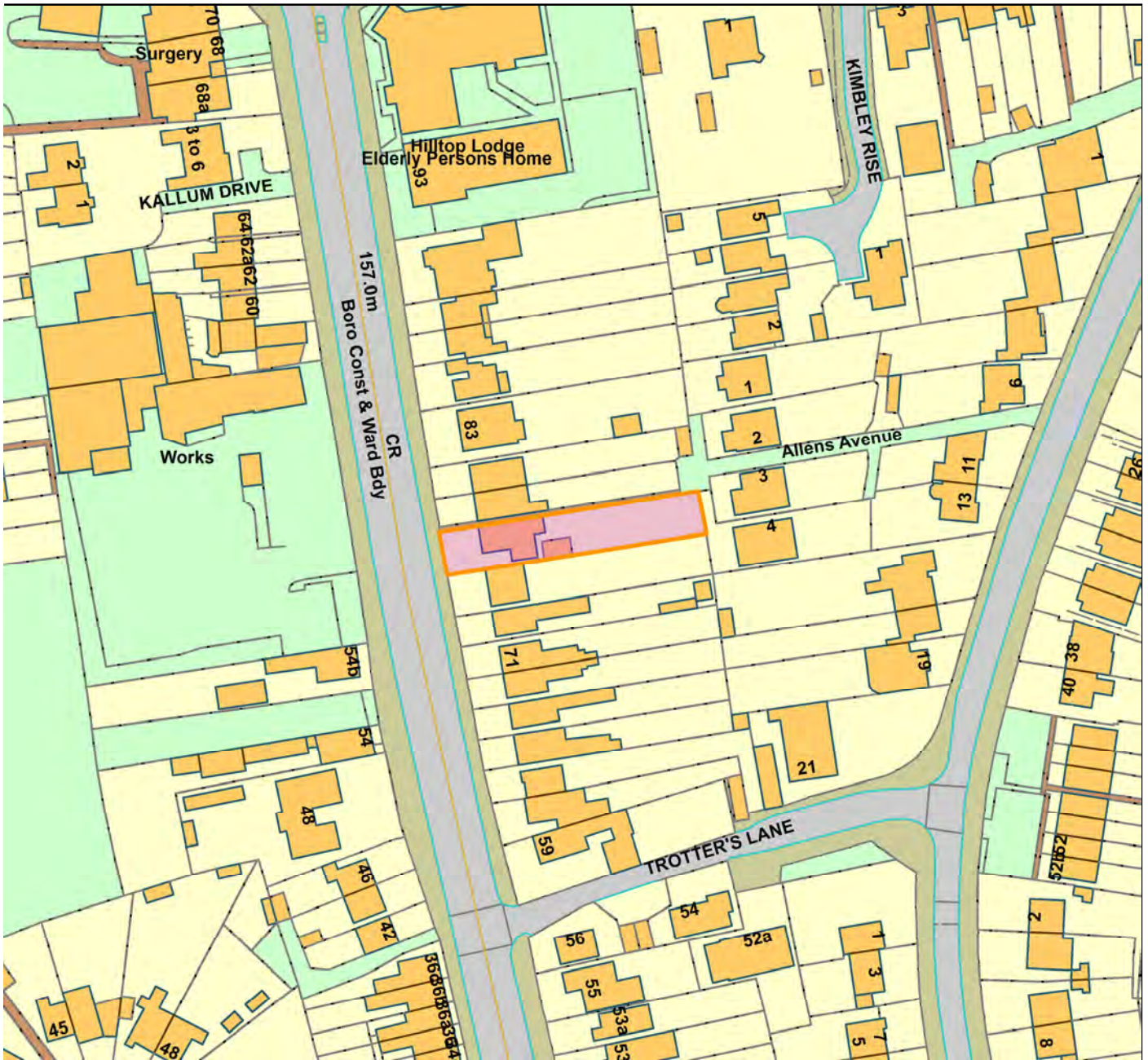
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Plan No. 02

Plan No. 03

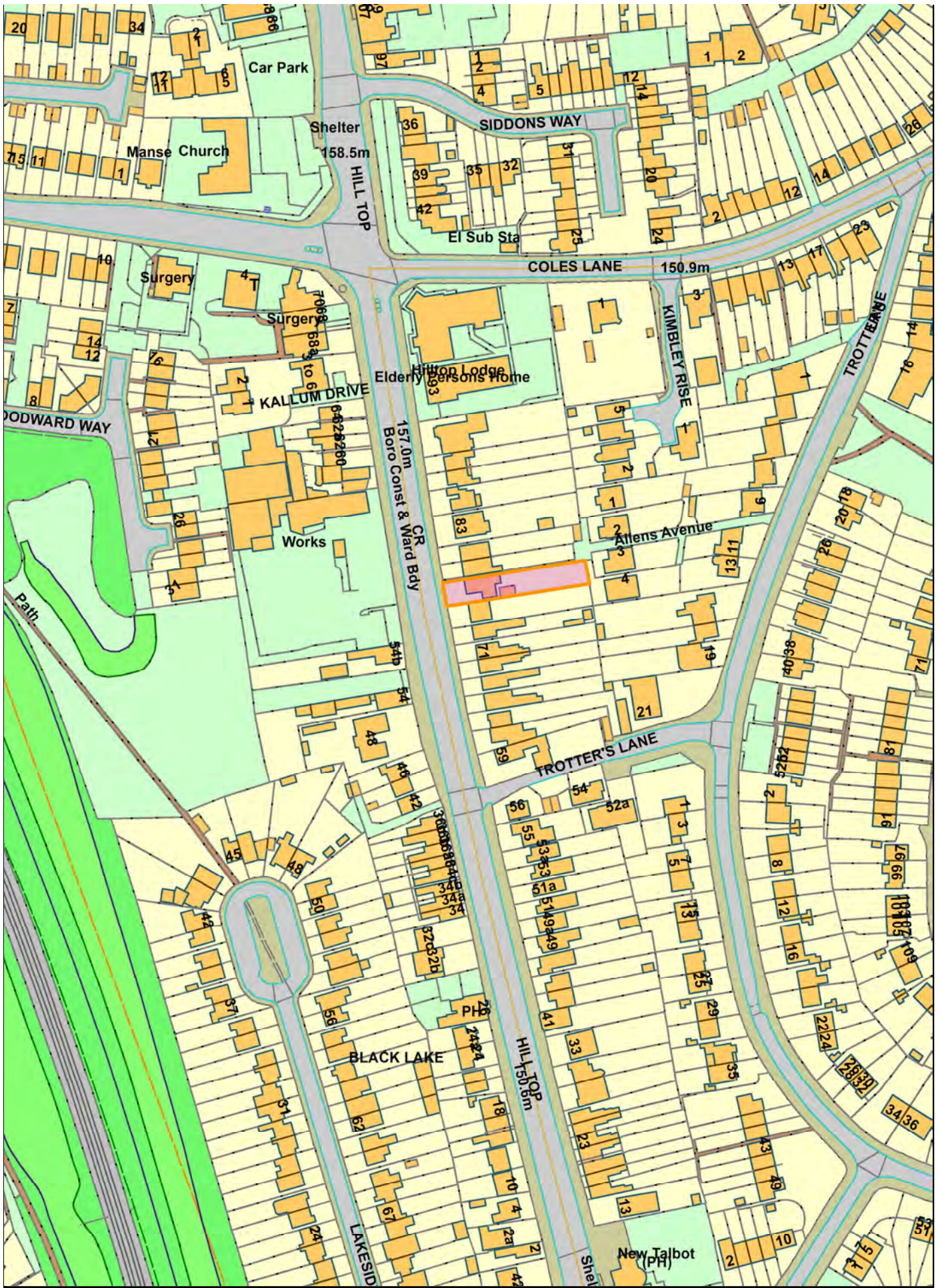
Plan No. 78/19

DC/19/63520
77 Hill Top, West Bromwich



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Organisation	Not Set
Department	Not Set
Comments	
Date	22 November 2019
OS Licence No	



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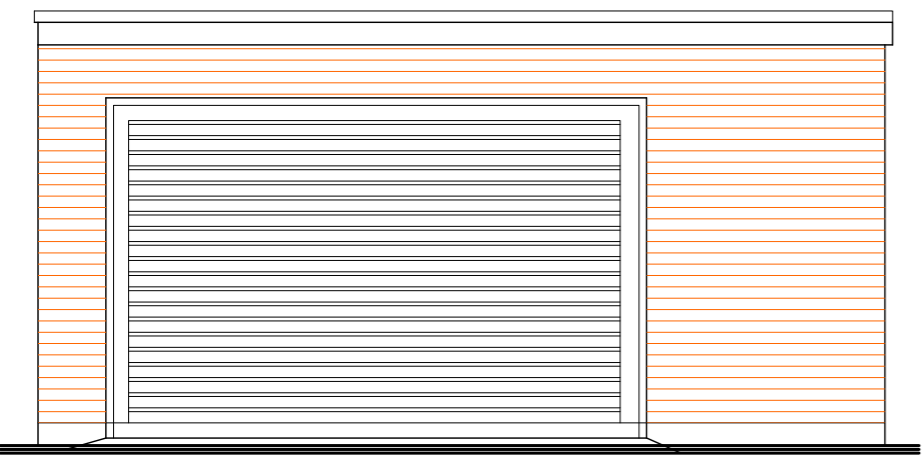
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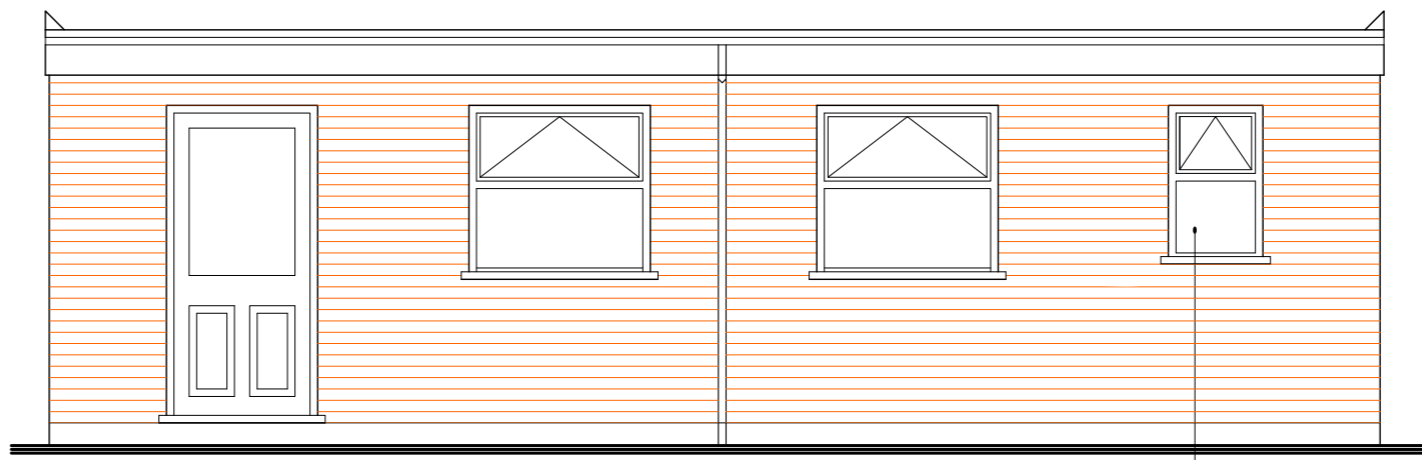
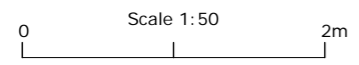
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KEY:

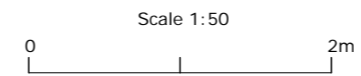
AB - Air Brick

 Mechanical air extractor


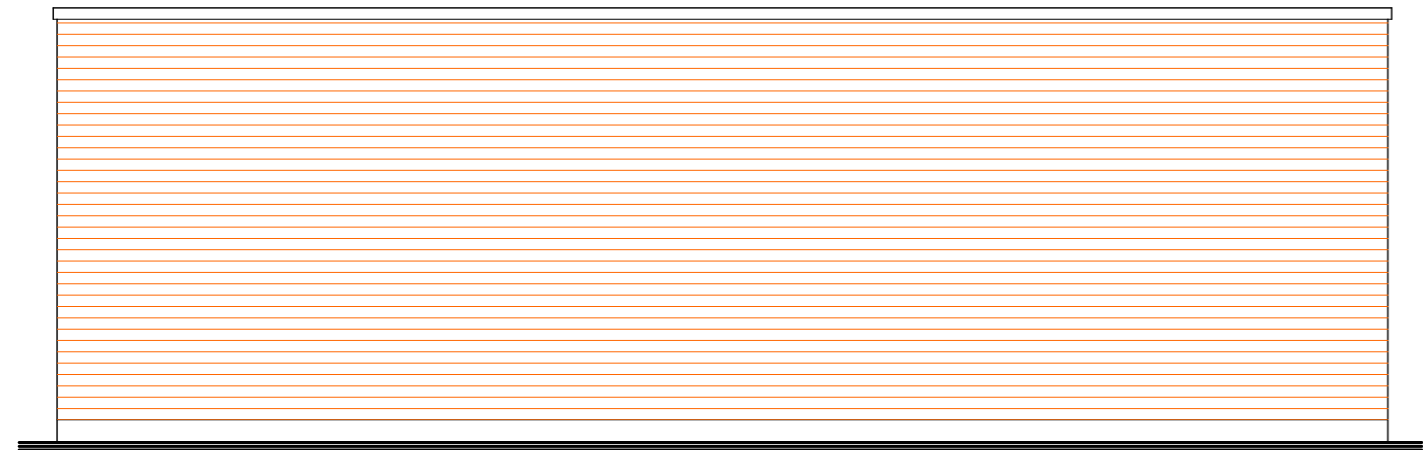
Front Elevation



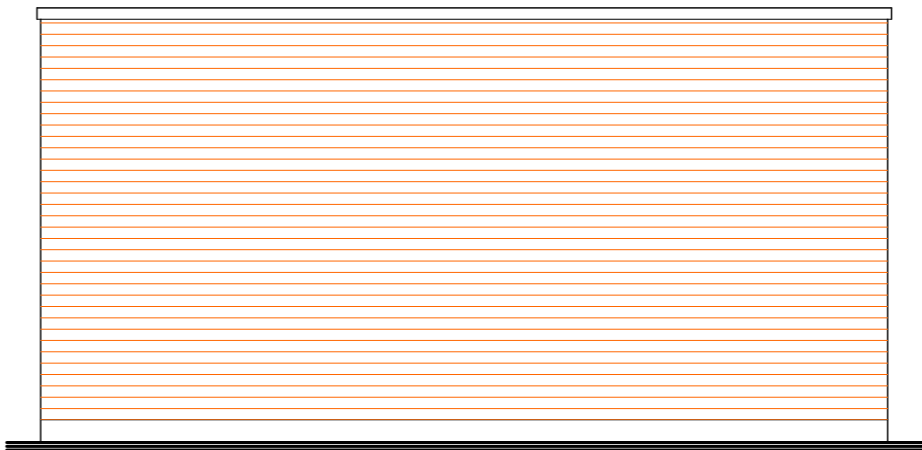
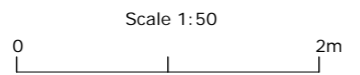
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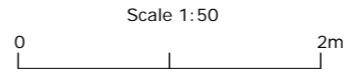
Obscured glazing



View A



Rear Elevation



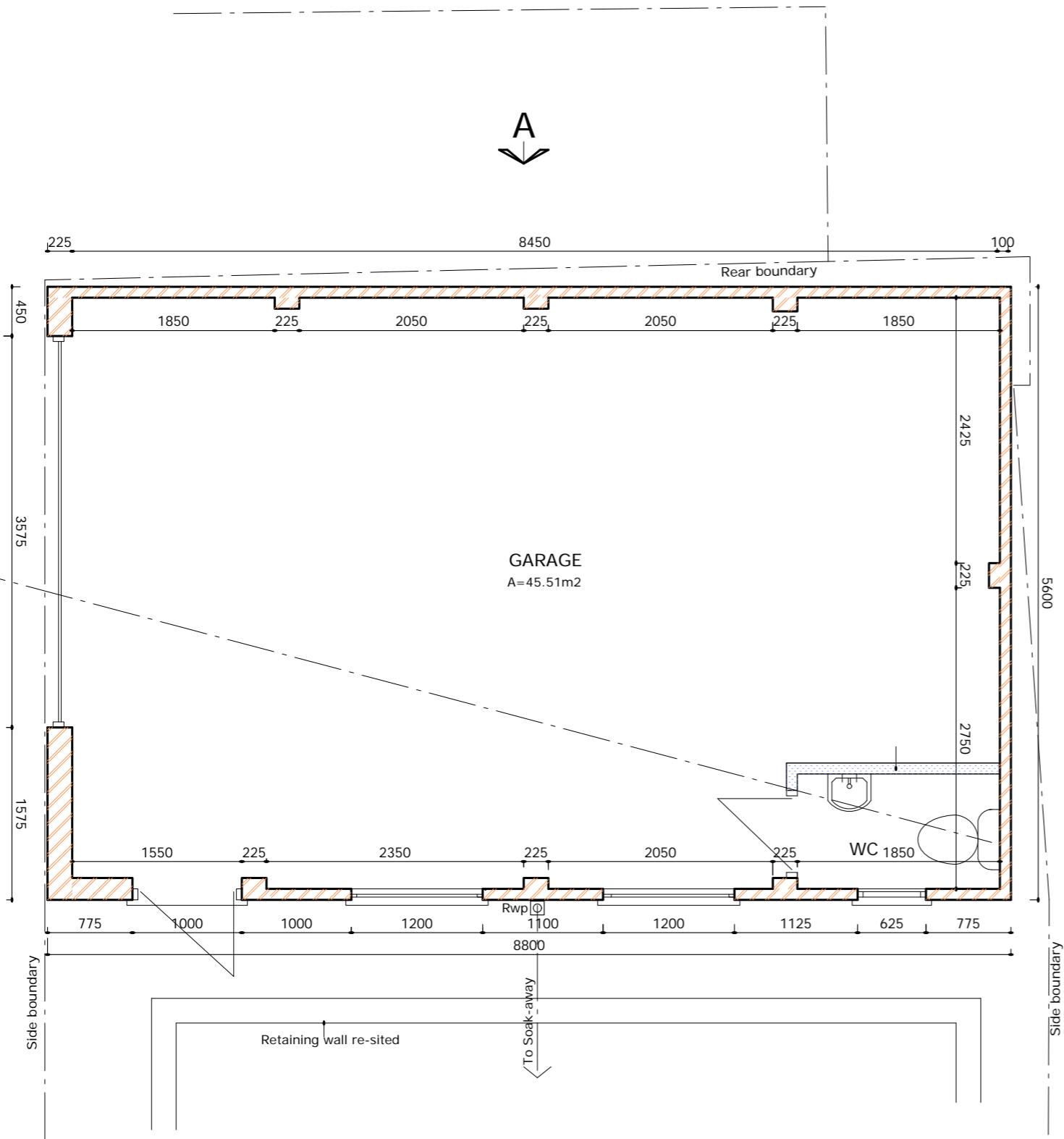
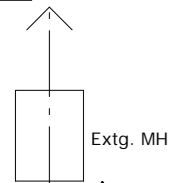
Client: Mr. Major S. Tiwana
77 Hill Top
West Bromwich
B70 0PX

Drawing Title: Erection of garage and wc at rear of the property

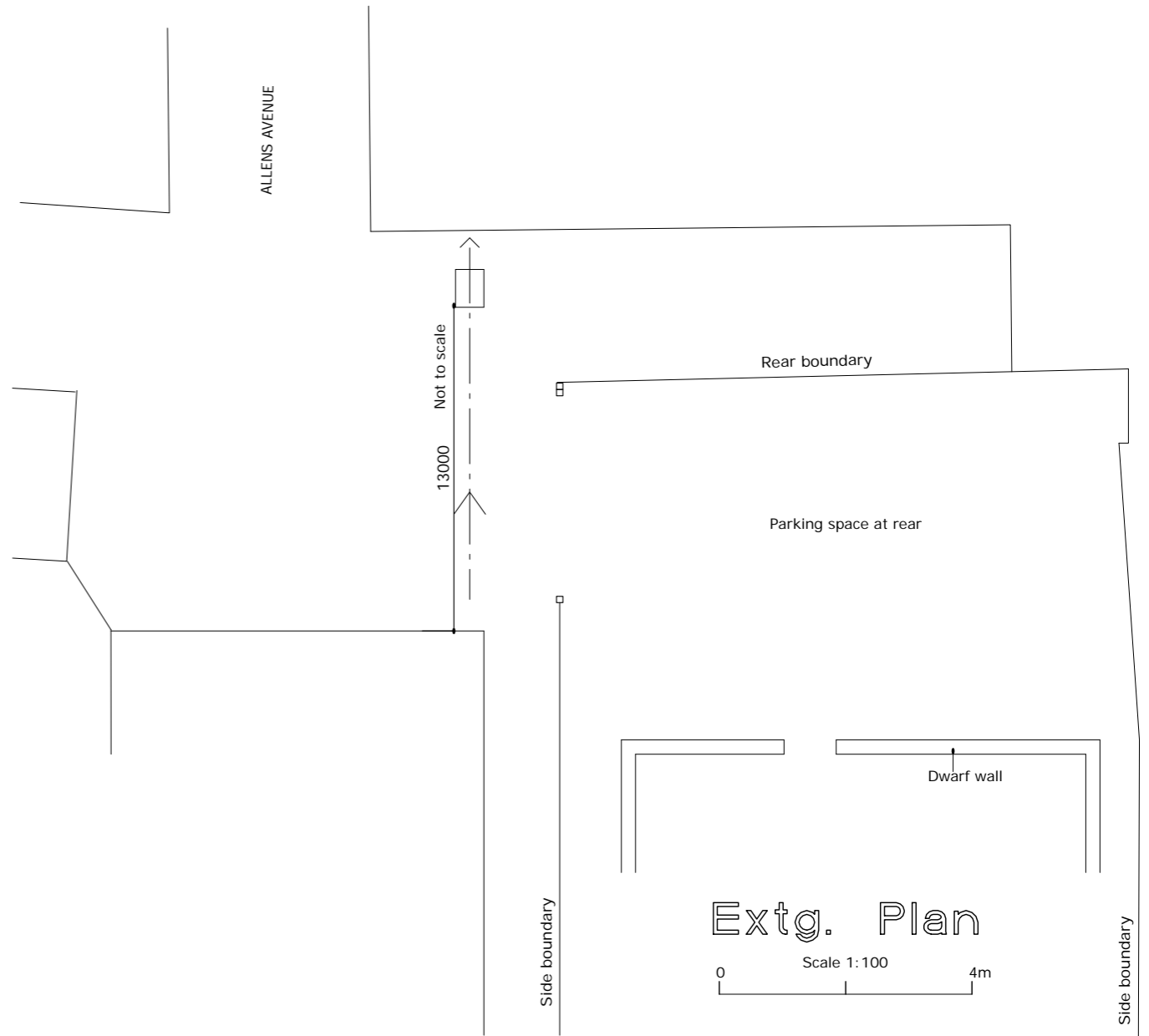
Drg.No: 78/19 Date: 15/08/2019 Drawn: JK

J K Kalsi
Building Designs & Technical Services
2 Coalway Road
Penn
Wolverhampton
WV3 7LR

Tel: 01902-620330
E-mail: tech@jkkalsi.co.uk



Prop. Plan
Scale 1:50
0 2m



Extg. Plan
Scale 1:100
0 4m



A1

A2

B1



Pictorial Views
Site: 77 Hill Top, West Bromwich. B70 0PX

J. K. Kalsi


Building Designs and Technical Services

2 Coalway Rd.
 Penn, W-ton
 WV3 7LR

Tel/Fax : (01902) 620330

REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63521
Application Received	9th September 2019
Application Description	Proposed part change of use from a garage to a barber's shop.
Application Address	92 St Pauls Road, Smethwick, B66 1EY
Applicant	Mrs Shazia Bibi
Ward	St Pauls
Contribution towards Vision 2030:	
Contact Officer(s)	Andrew Dean 0121 569 4056 andrew_dean@sandwell.gov.uk

RECOMMENDATION

That planning permission is refused on grounds of:-

- i) Highways safety;
- ii) Contrary to policy CEN5, CEN6 and CEN7;
- iii) General disturbance from increased comings and goings

1. BACKGROUND

- 1.1 At your last meeting your committee resolved to visit the site.
- 1.2 This application is being reported to your Planning Committee because fourteen material objections have been received.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The site is not allocated in the adopted development plans.
- 2.2 The material planning considerations which are relevant to this application are:

Proposals in the Local Plan
Planning history
Access, highway safety, parking and servicing
Traffic generation
Noise and disturbance from the scheme

3. The APPLICATION SITE

- 3.1 The application relates to an end terraced residential property that has been converted into an 11-bedroom house in multiple occupation (HMO). The character of the surrounding area is predominantly residential in nature with West Smethwick Methodist Church located on the opposite side of Holly Lane and an historic shop premises (newsagents) is located on the opposite side of St Pauls Road.

4. PLANNING HISTORY

- 4.1 The site has been subject to a previous refusal for a change of use to a barber's shop. The proposed opening hours of this refused application were 9.00am to 6.00pm Monday to Saturday with potential opening on Sundays and Bank Holidays. The double garage was previously approved under a separate application to be used as storage and parking.

- 4.2 Relevant planning applications are as follows:-

DC/18/62484	Proposed part change of use of garage to a barber shop.	Refused 15.2.2019
DC/13/56064	Proposed single storey rear extension and detached garage to rear (resubmission of DC/13/55615).	Approved with Conditions 9.8.2013

5. APPLICATION DETAILS

- 5.1 The applicant is proposing to convert one of the two garages approved under DC/13/56064 into a barber's shop. The applicant is proposing to have one full time employee with opening hours on Monday to Saturday 9.00am to 5.00pm. The applicant has stated the business would operate on an appointment system only.

6. PUBLICITY

- 6.1 The application has been publicised by neighbour notification letter with 14 objections and a petition of support containing 58 signatures being received.

6.2 **Objections**

Objections have been received on the following grounds:-

- (i) Traffic concerns regarding car parking.
- (ii) A number of accidents have taken place at the junction of Holly Lane and St Pauls Road.
- (iii) Anti-social behaviour.
- (iv) A previous application for the same proposal was refused.
- (v) The application is contrary to planning policy.
- (vi) Noise concerns.
- (vii) The proposal is out of character with the surrounding area.
- (viii) The garage is too small for a barber's shop.
- (ix) The applicant intends to use this application as a stepping stone to get approval for a hot food takeaway.
- (x) The existing street lamp post prevents access to the garage for a vehicle.
- (xi) No drop kerb has been provided.
- (xii) Smethwick town centre is a short walk with units available.
- (xiii) The removal of the garage door would remove the domestic appearance of the garages.
- (xiv) The church opposite the application contains a pre-school. The proposed use as a barber's shop would increase traffic and may result in accidents.

Immaterial issues have been raised stating that there are a number of barber shops/ hairdressers operating in the vicinity.

6.3 **Responses to objections**

I concur in the main with the objector's comments regarding highway safety and planning policy issues. For further information, specialist consultee comments from highways and planning policy can be viewed in section 7 of this report.

6.4 **Support**

A petition containing 58 signatures in support of the application has been received which states that they are pleased that the applicant has included an appointment booking system and that this will mean that there will be no disruption to traffic or any parking issues. They also state that there is a need for such a facility.

7. STATUTORY CONSULTATION

7.1 Planning Policy

They have raised an objection to the proposed change of use due to the application failing to address Black Country Core Strategy Policies CEN5 District and local centres, CEN6 Meeting local needs for shopping and services and CEN7 Controlling out of centre development.

7.2 Highways

They have raised an objection to the proposal. Five off street car parking spaces are required for the HMO. Highways have stated a maximum of 3 spaces can be provided in the existing back yard and the new spaces provided would likely total one usable space due to boundary treatments. This totals, at most 5, which are required for the existing HMO. On street car parking already occurs near the garages and the proposed barber's shop would generate further trip rates and parking accumulation on street which would affect resident's amenity. The available carriageway width is already reduced by the existing parking.

7.3 Environmental Heath (Air Pollution and Noise)

They have no objections.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

9.1 The following sections of the Council's Development Plan are relevant:-

CEN5 – District and local centres.

CEN6 – Meeting local needs for shopping and services.

CEN7 – Controlling out of centre development.

9.2 The application site does not fall within a district centre but is within 250 metres of Smethwick High Street District Centre. The site would therefore be classed as an edge-of-centre location under BCCS policy CEN5. As the Smethwick High Street District Centre contains vacant units BCCS policy CEN6 and BCCS policy CEN7 will therefore apply and justification will need to be provided as to why the proposed barber shop cannot be located within the centre itself. No information has been submitted to address this issue.

- 9.3 As the nearby centre has vacant units and already provides hairdressers/barbers shops, planning policy fail to see that there is a perceived need outside of centre for the proposed use. Allowing a barber's shop in this location would not reduce the need to travel by car and the proposal would not meet a specific day-to-day need which are requirements of policy BCCS CEN6 due to existing hairdressers/barber shops already being located within the Smethwick High Street District Centre. Therefore, allowing such a use in this location, with no justification given, would likely reduce the vitality and viability of the nearby retail centre of Smethwick High Street, which is contrary to policy CEN5.

10. MATERIAL CONSIDERATIONS

- 10.1 The key material considerations with this proposal are highways safety, planning policy and noise and disturbance.
- 10.2 Highways safety - I am of the opinion the proposal would have a detrimental impact of the safety and convenience of users of the highway by generating further trip rates and parking accumulation on street which would affect resident's amenity.
- 10.3 Planning policy - the proposal fails to comply with the provisions of CEN5 (District and local centres), CEN6 (Meeting local needs for shopping and services) and CEN7 (Controlling out of centre development) of the Black Country Core Strategy.
- 10.3 Noise and disturbance - I am of the opinion the amenities of neighbouring residential properties would be affected by the proposal from increased comings and goings.

11. IMPLICATIONS FOR SANDWELL'S VISION

- 11.1 The proposal supports Ambitions 8 and 10 of the Sandwell Vision 2030:-
- 11.2 Ambition 8 – Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.
- 11.3 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

12.1 On the basis of the negative responses received from the head of highways and planning policy. I consider that the application should not be supported due to the impact upon the safety and convenience of users of the highway and the lack of information in respect of the impact upon the retail centre contrary to policies BCCS CEN5 (District and local centres), BCCS CEN6 (Meeting local needs for shopping and services) and BCCS CEN7 (Controlling out - of - centre development). Furthermore, neighbouring residential properties would suffer from general noise and disturbance due to the increased comings and goings from potential customers. Refusal is therefore recommended.

13. STRATEGIC RESOURCE IMPLICATIONS

13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

19.1 Refer to the summary of the report (12).

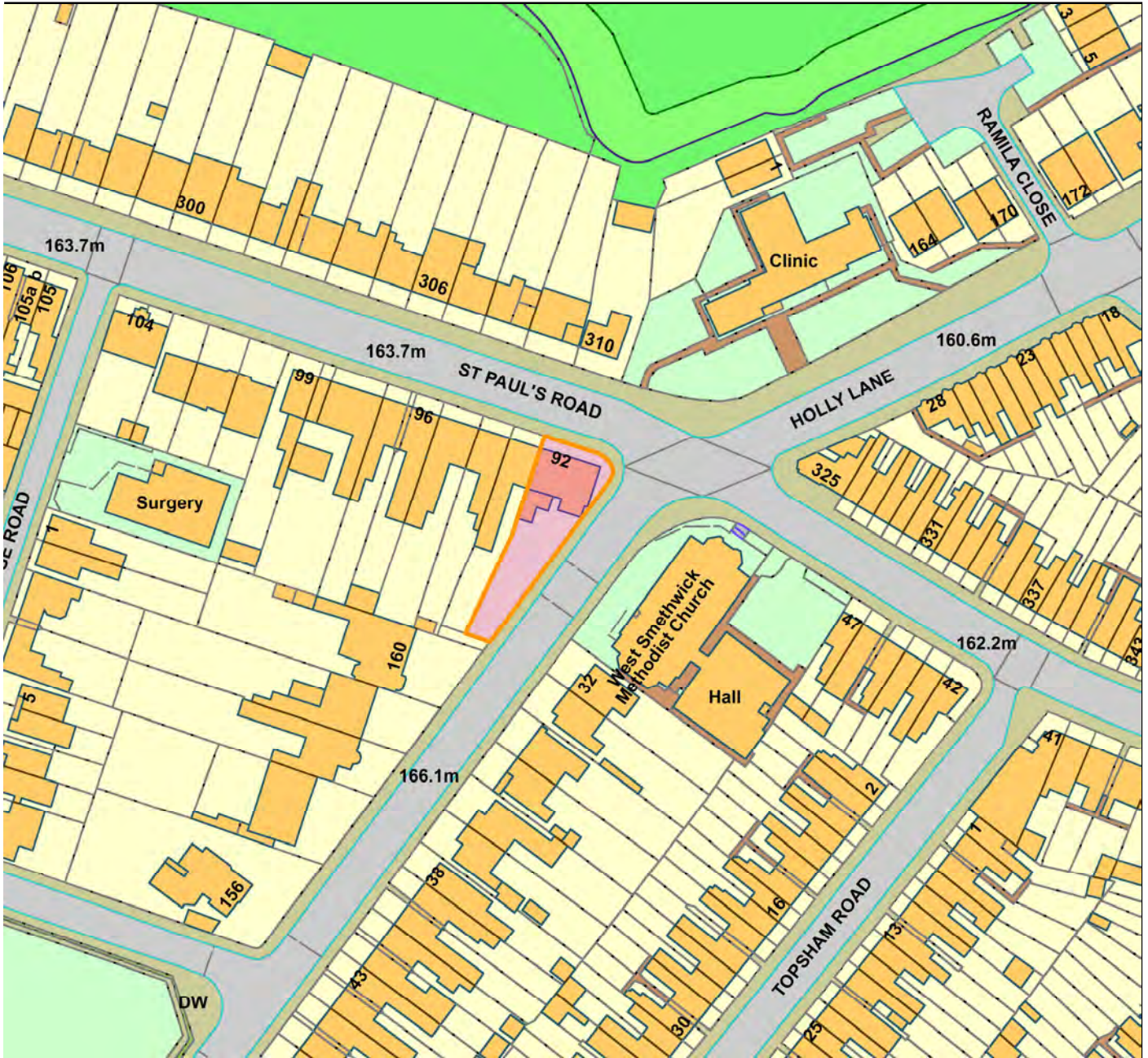
20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

20.1 There will be no impact.

21. APPENDICES:

Site Plan
Context Plan
Drawing no. 2
Drawing no. 4
Drawing no. 6

DC/19/63521
92 St Pauls Road



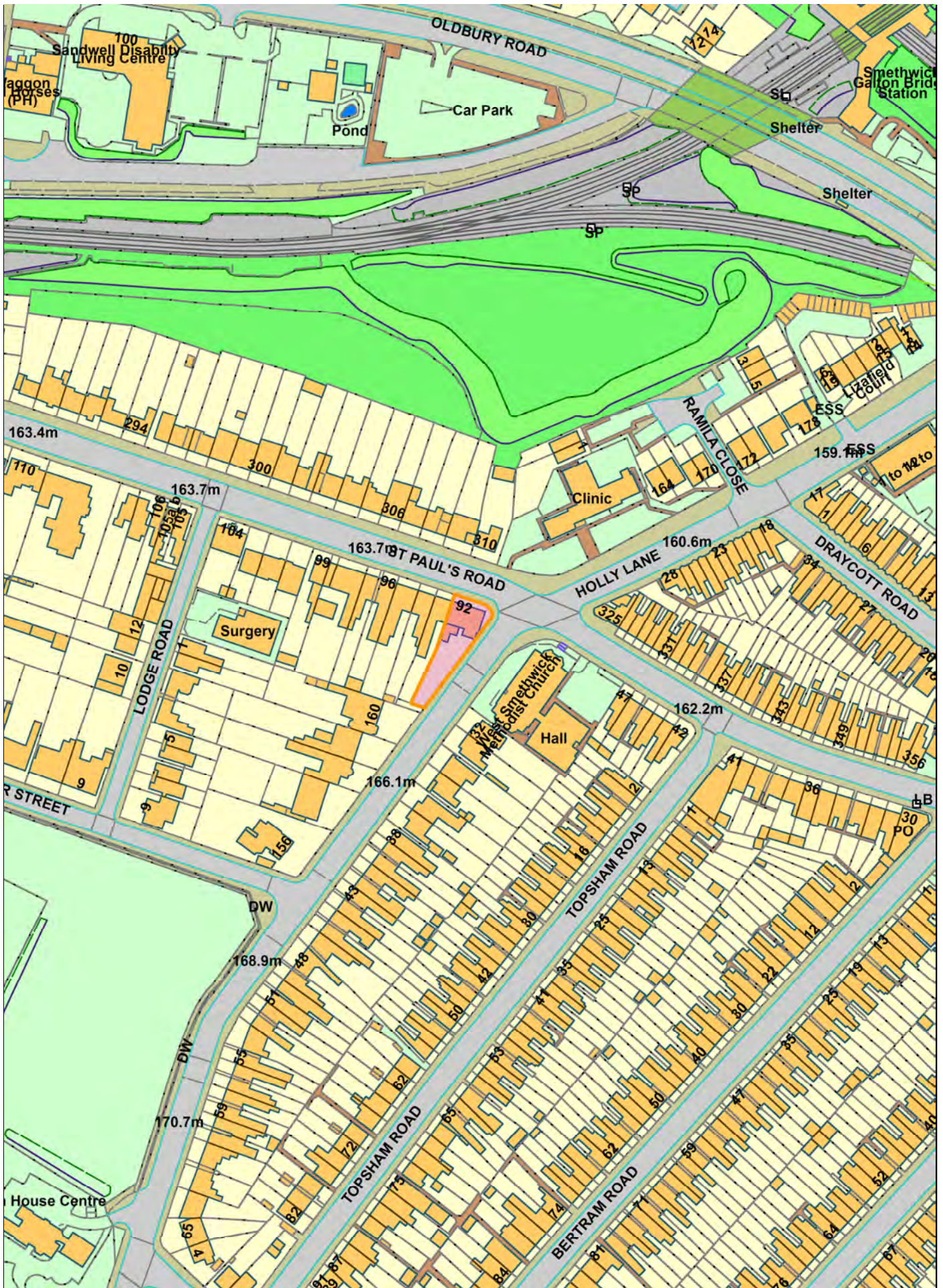
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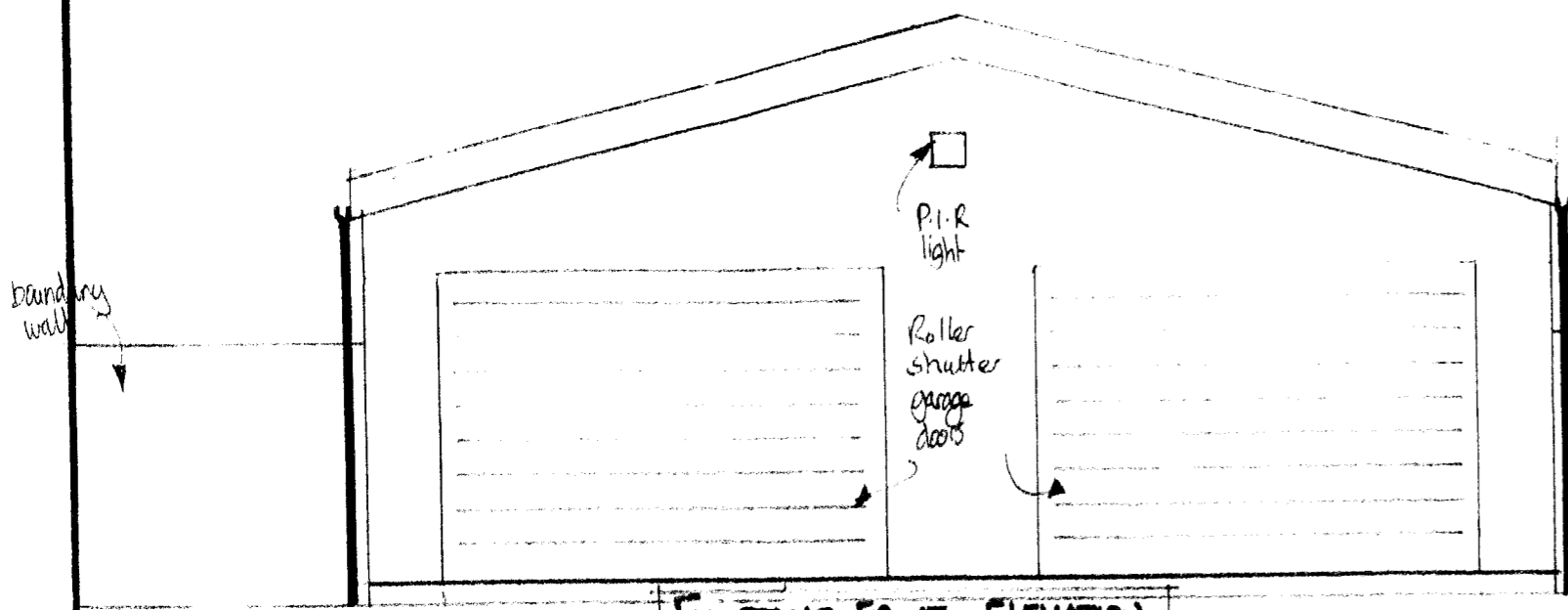
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Comments	Not Set
Date	24 October 2019
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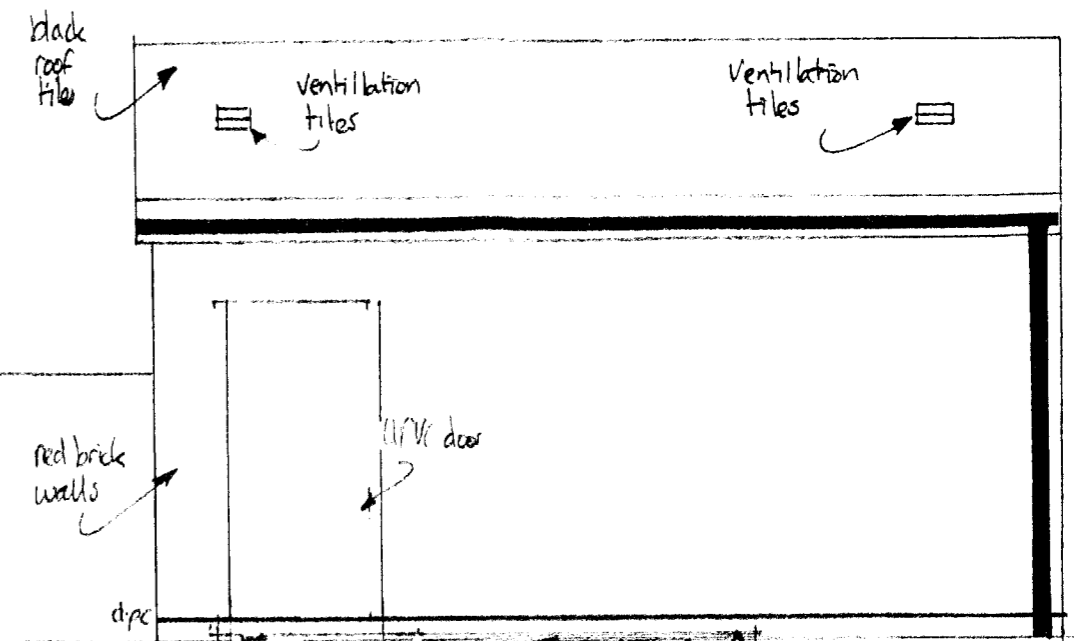
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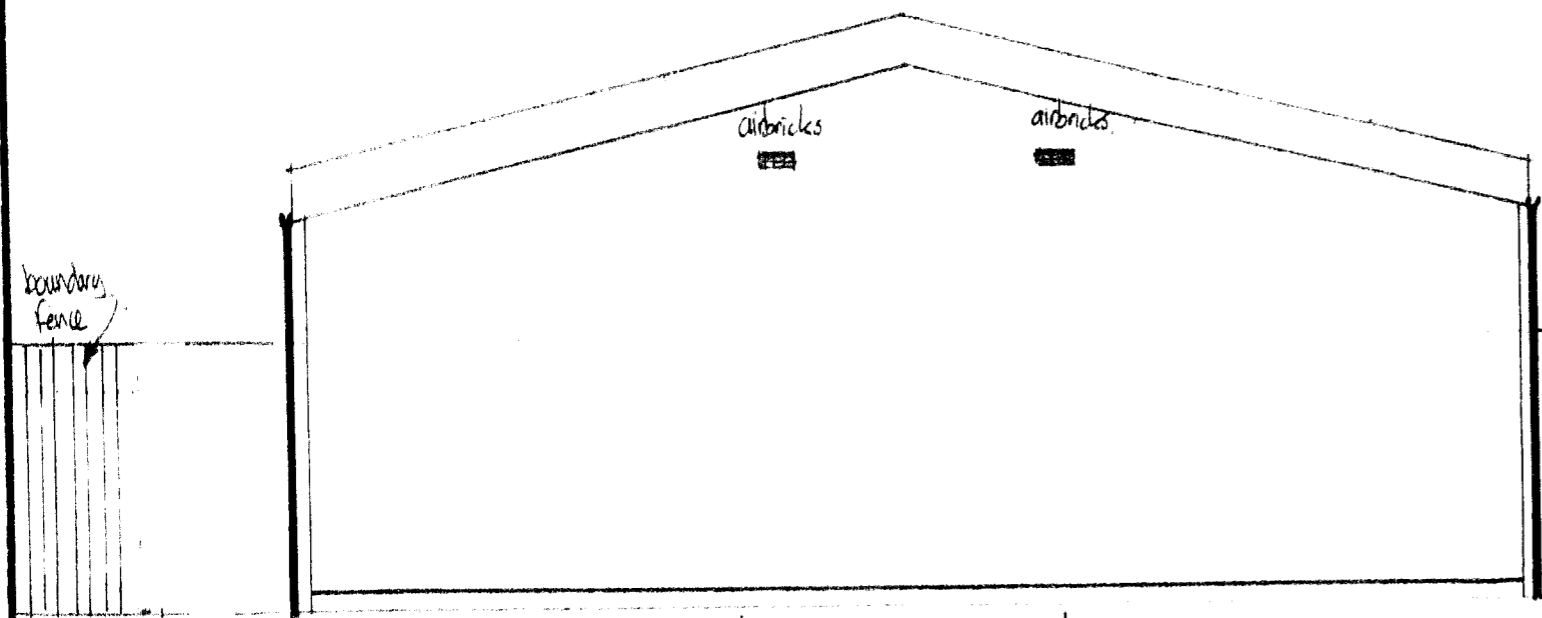




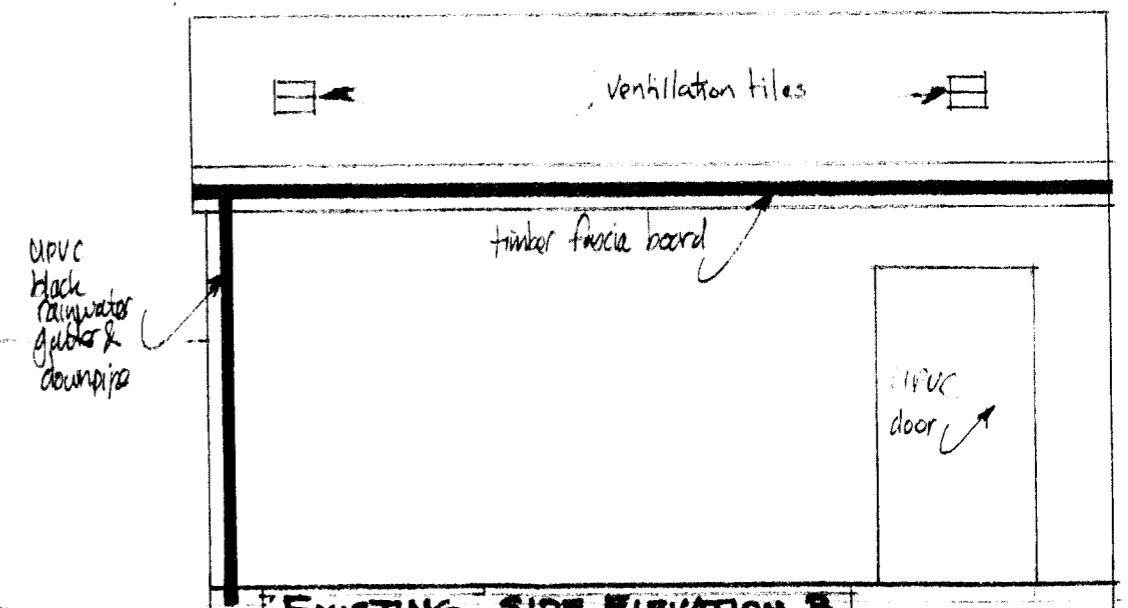
EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION A

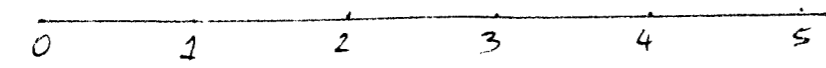


EXISTING REAR ELEVATION



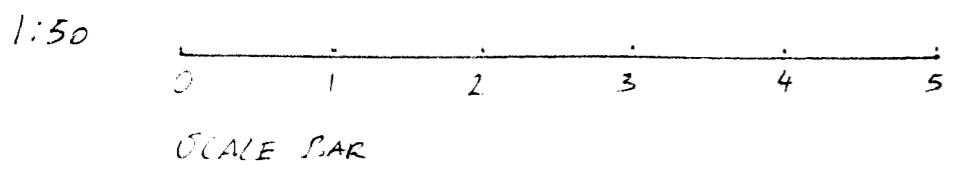
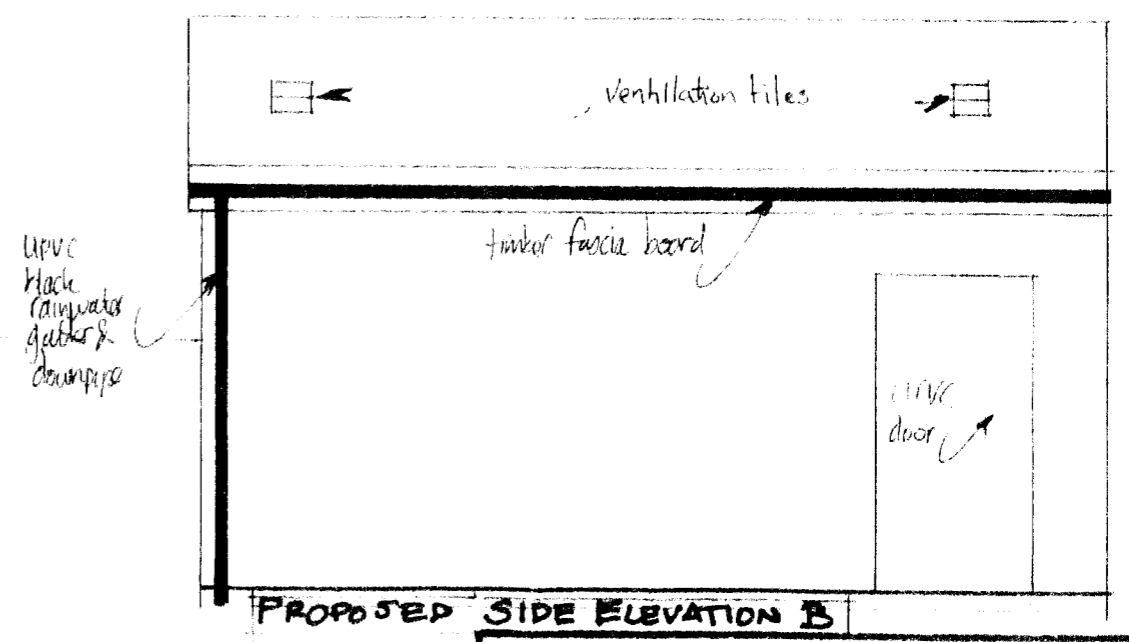
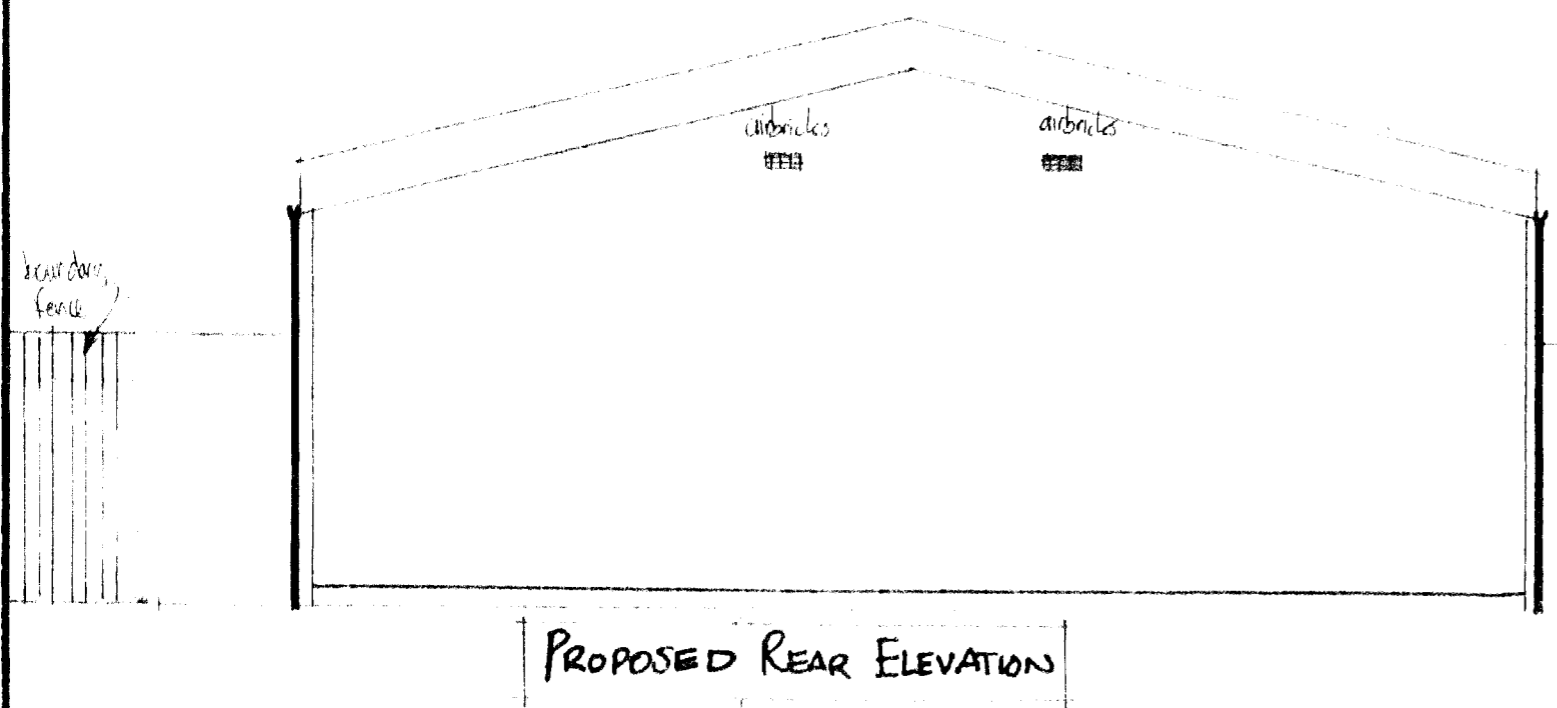
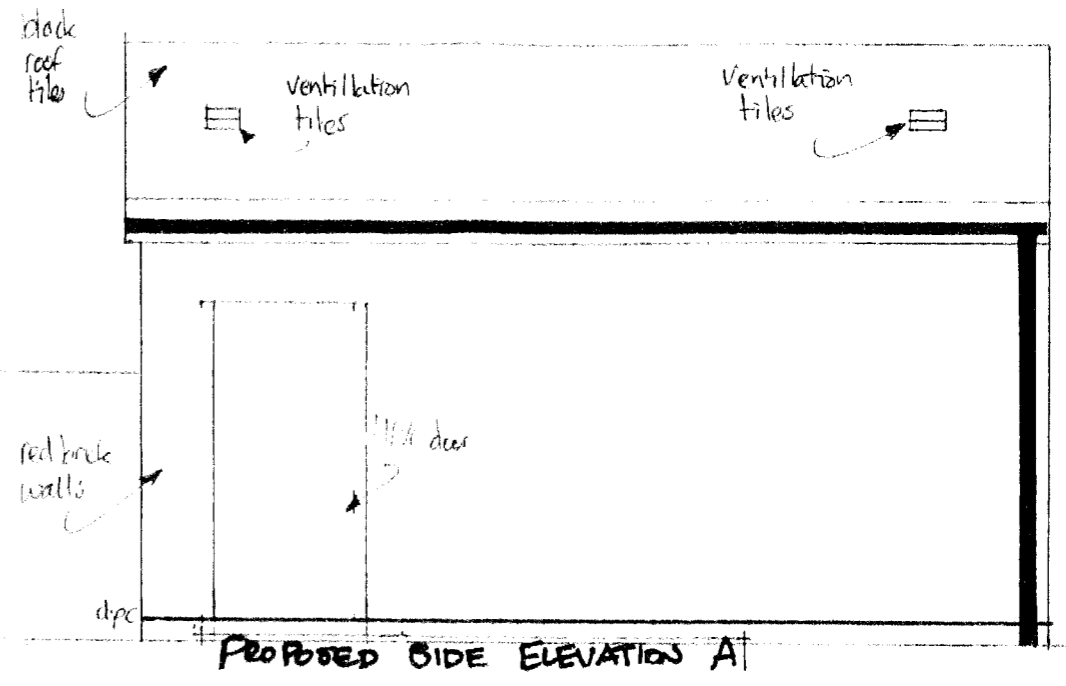
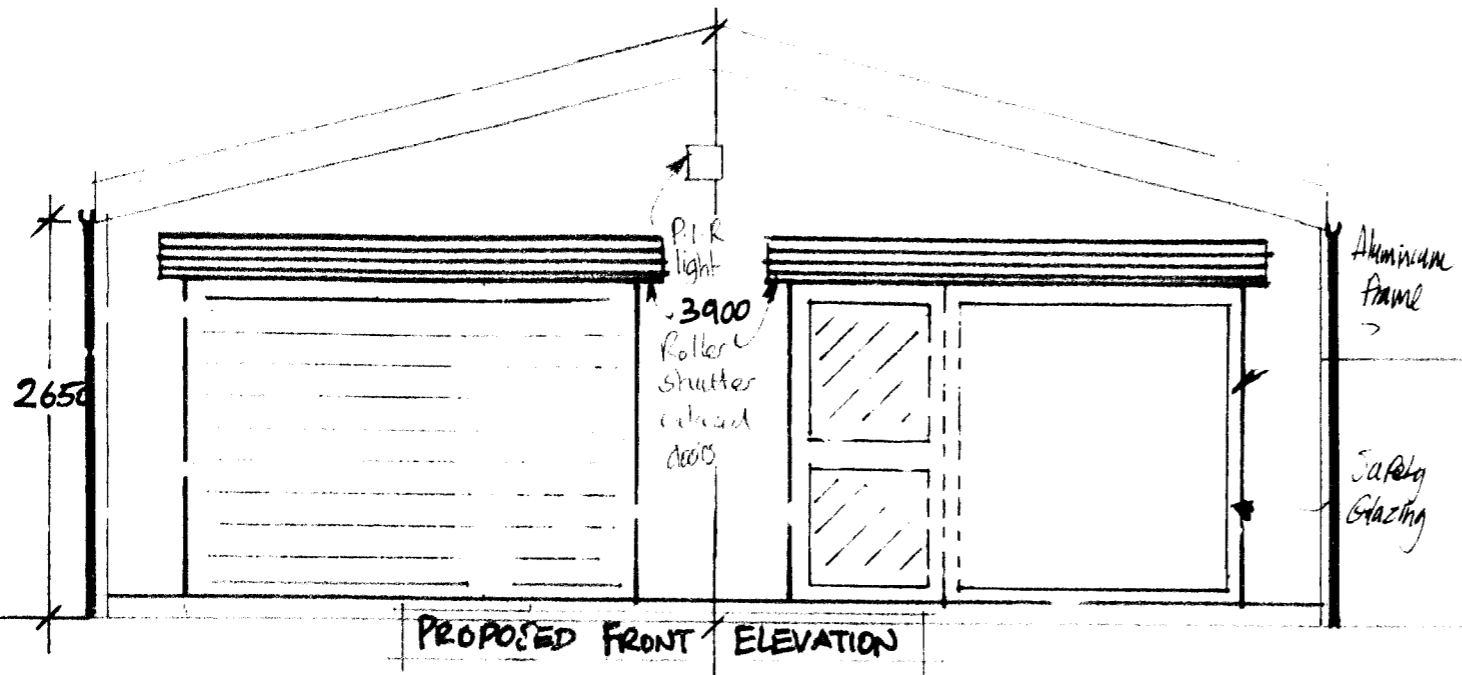
EXISTING SIDE ELEVATION B

1:50



SCALE BAR

PROPOSED BUSINESS PREMISES
 AT 92 ST PAULS ROAD
 SMETHWICK WARLEY WEST MIDLANDS
 B66 1EY
 FOR MR. M. AKHTAR
 SCALE 1:50
 DRAWING No 2

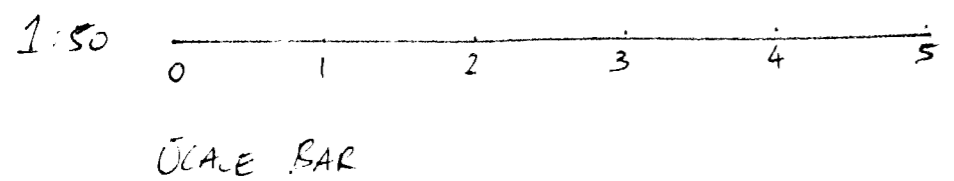
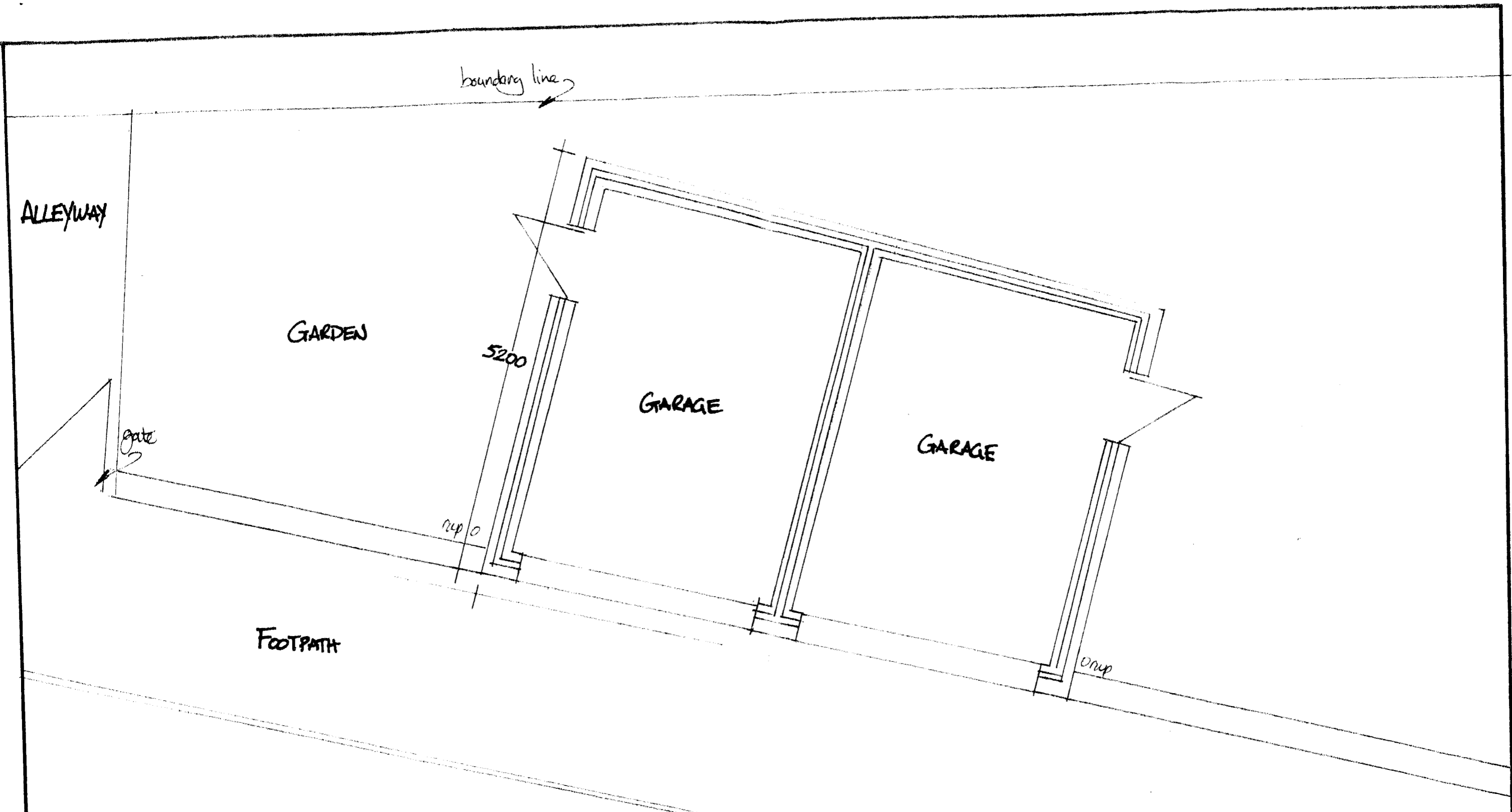


PROPOSED BUSINESS PREMISES
 AT 92 ST PAULS ROAD
 SMETHWICK WARLEY WEST MIDLANDS
 B66 1EY

FOR MR. M. AKHTAR

SCALE 1:50

DRAWING NO 4



PROPOSED BUSINESS PREMISES
 AT 92 ST PAULS ROAD
 SMETHWICK WARLEY WEST MIDLANDS
 B66 1EX
 FOR MR M. AKHTAR
 SCALE 1:50
 DRAWING No 1

ALLEYWAY

CAR BAYS

PARKING

boundary line

5200

GARAGE

W.C

BARBER SHOP

FOOTPATH

3700

drnp

drnp

gate

take down boundary wall

1:50



SCALE BAR

PROPOSED BUSINESS PREMISES
 AT 92 ST PAULS ROAD
 SMETHWICK, WARLEY WEST MIDLANDS
 B66 1EX

FOR MR M. AKHTAR

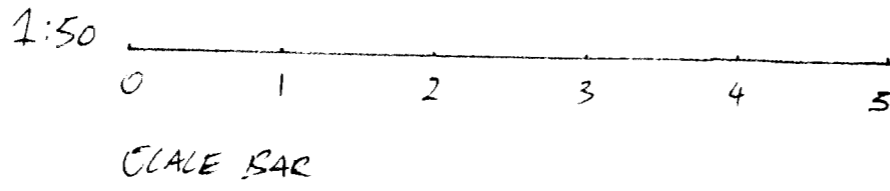
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DRAWING No 2

boundary line →

GARDEN

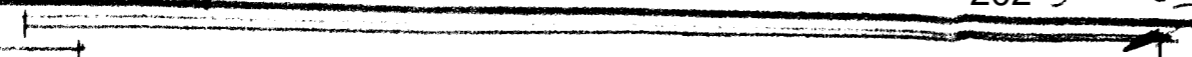
EXISTING GROUND FLOW



PROPOSED BUSINESS PREMISES
AT 92 ST PAULS ROAD
SMETHWICK WARLEY WEST MIDLANDS
B66 1EY
FOR MR M. AKHTAR
SCALE 1:50
DRAWING No 5

existing sliding gate
202

pedestrian gate



boundary line ?

Car parking bays

PROPOSED GROUND PLAN

Car parking bays

1:50

0 1 2 3 4 5

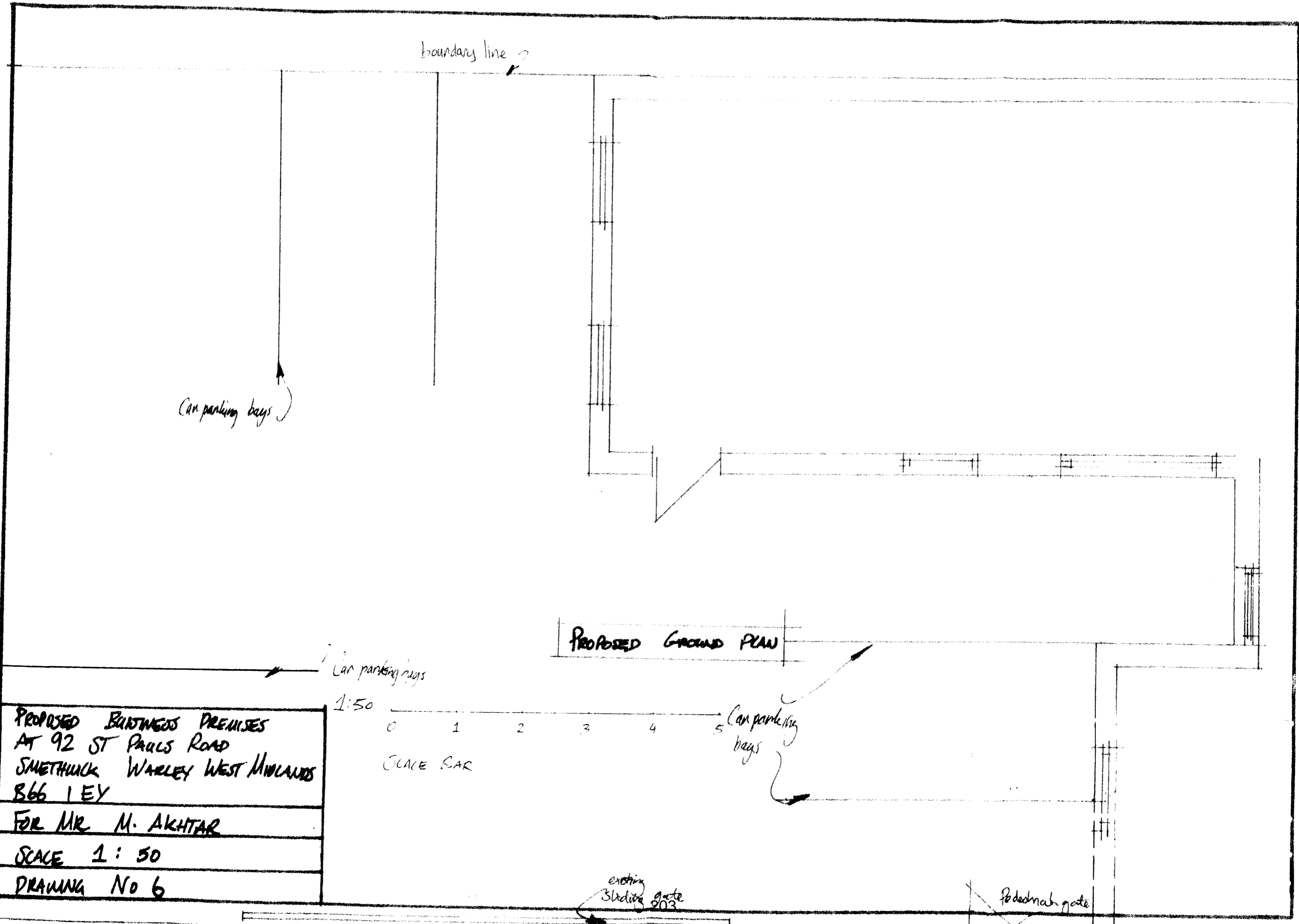
SCALE BAR

Car parking bays

PROPOSED BUSINESS PREMISES AT 92 ST PAULS ROAD SMETHWICK WARLEY WEST MIDLANDS B66 1EY
FOR MR. M. AKHTAR
SCALE 1:50
DRAWING No 6


existing sliding gate 203

Pedestrian gate



REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63546
Application Received	17 th September 2019
Application Description	Proposed 2 no. 4 bed and 4 no. 3 bed properties with associated car parking.
Application Address	Land Adjacent 8A Castle Road West Oldbury B68 0EW
Applicant	Mr Sheath
Ward	Old Warley
Contribution towards Vision 2030:	
Contact Officer(s)	Andrew Dean 0121 569 4056 andrew_dean@sandwell.gov.uk

RECOMMENDATION

That planning permission is granted subject to:-

- (i) External materials.
- (ii) Ground conditions.
- (iii) Hard and soft landscaping.
- (iv) Drainage to include sustainable drainage.
- (v) Car parking to be implemented and retained.
- (vi) Boundary treatments.
- (vii) Finished floor levels.
- (viii) Method of working statement to include hours of construction, delivery times, site access points and road cleaning.
- (ix) External lighting scheme.
- (x) Electric vehicle charging points.
- (xi) Removal of Permitted Development Rights to roof (B and C);
- (xii) Drop kerbs to be installed and highway re-instated.
- (xiii) No burning of waste.
- (xiv) Roof lights in plot 6 (facing Kenilworth Road) shall be obscurely glazed and retained as such.
- (xv) Management plan for landscaping areas.

1. BACKGROUND

- 1.1 This application is being reported to your Planning Committee because five material planning objections have been received.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The site is unallocated in the development plan.
- 2.2 The material planning considerations which are relevant to this application are:

Government policy (NPPF)
Proposals in the Local Plan
Overlooking/loss of privacy
Loss of light and/or outlook
Overshadowing
Public visual amenity
Overbearing nature of proposal
Layout and density of building
Design, appearance and materials
Access, highway safety, parking and servicing
Traffic generation
Noise and disturbance from the scheme
Nature conservation and loss of ecological habitats
Loss of trees
Flood risk

3. The APPLICATION SITE

- 3.1 The application site is the former garden area of 8A Castle Road West, Oldbury. The site can be accessed off Castle Road West and Birch Grove.

4. PLANNING HISTORY

- 4.1 There is no relevant planning history.

5. APPLICATION DETAILS

- 5.1 The applicant is proposing to erect 2 no. 4 bed properties and 4 no. 3 bed properties. The proposed 4 bed properties would be accessed from Castle Road West and would be two storeys in height with a master bedroom located in the roof space. The proposed 3 bed properties would be accessed from Birch Grove via an access road. The properties would

comprise of one pair of one and half storey semi-detached properties, one detached one and half storey property and one dormer bungalow.

6. PUBLICITY

6.1 The application has been publicised by neighbour notification letter, with four letters of objection and one neutral comment being received.

6.2 Objections

Objections have been received on the following grounds: -

- (i) Plot 6 would cause a loss of privacy, light and outlook to properties on Kenilworth Road.
- (ii) Overlooking caused by plot 6 to No. 11 Birch Grove.
- (iii) The site has suffered a loss of trees.
- (iv) The proposal would impact on wildlife.
- (v) The proposal would be overdevelopment of the site.
- (vi) The development would increase noise levels from construction work and residents' vehicles.
- (vii) The development would increase pollution levels.
- (viii) The development would be a health and safety hazard.
- (ix) The proposal is of a poor design and should be bungalows in design.
- (x) Site access concerns and confirmation as to where the access will be located.
- (xi) Concerns with regards light pollution from street lighting.
- (xii) Would there be a turning circle for delivery and refuse vehicles?
- (xiii) Would the trees lost in the site clearance be replaced?
- (xiv) The height of the proposed dwellings is a concern, would the height of the dwellings be increased in the future?
- (xv) Site drainage/ flooding concerns.
- (xvi) Ground conditions concerns with regards potential property damage from construction of foundations.
- (xvii) Concerns with regards the use of the land adjacent to the site access. Confirmation is required this land would not be used for car parking or a children's play area.
- (xviii) Concerns with regards increased traffic using Birch Grove.
- (xix) Conservation of existing trees.
- (xx) The design and access statement makes reference to a notice being served upon Solihull Metropolitan Borough Council.
- (xxi) Would a pedestrian pavement be installed to access the proposed properties?

Immaterial planning consideration relate to loss of light to garden areas.

6.3 Responses to objections

I respond to the objector's comments in turn;

- (i) The separation distance to rear of the properties on Kenilworth Road exceeds the separation distance of 21 metres set out in the revised residential design guide SPD. Furthermore, the windows in question are roof lights which serve a bathroom and hallway. Therefore I do not consider that a significant loss of privacy would occur, however a condition for these windows to be obscurely glazed has been included within the recommendation.
- (ii) The proposed separation distance from the rear elevation of the proposed dormer bungalow and the rear elevation of the objector's property is 20.4 metres at its nearest point. This would increase to 22.8 metres at the furthest point (these measurements are taken from the proposed front facing dormer windows). The shortest distance is slightly below the required separation distance of 21 metres as stated in the revised residential design guide SPD. However, the objector has a large evergreen trees at the rear of their garden which would provide a screen to the proposed property to the rear. Coupled with the fact that the proposed site cross section shows the bungalow would be set down into the site, I do not consider that a significant loss of privacy/overlooking would occur.
- (iii) The applicant has cleared a number of trees from the site. Unfortunately, none of the trees were subject to tree preservation orders and hence the local planning authority (lpa) had no powers to prevent their removal.
- (iv) As stated above, the lpa are powerless to prevent the loss of trees due to no preservation orders being present. A landscaping condition has been recommended to improve the soft landscaping of the site.
- (v) I do not consider the proposal is over development of the site. The site complies with guidance contained within the revised residential design guide SPD in terms of internal and external amenity space and separation distances.
- (vi) Given the number of properties, I do not consider that a significant increase in noise levels would occur as a result of this proposal.
- (vii) Given the number of properties, I do not consider that a significant increase in pollution levels would occur as a result of this proposal. Furthermore in accordance with adopted policy ENV8 (Air Quality), electric vehicle charging points have been included as a condition within the recommendation.
- (viii) I do not consider the development would be a health and safety hazard, however a Method of Working Statement is conditioned as

- part of the recommendation. Other matters would be controlled by the Health and Safety Executive.
- (ix) I do not consider that the proposal is of a poor design, the developer has complied in full with guidance contained within the revised residential design guide SPD. With regards to the design of the properties via the access from Birch Grove, concerns have been raised that the proposed properties would not be bungalows as per the design of the properties on Birch Grove. However, the properties would be accessed off a separate access road where a mixture of dwelling types can be viewed in the immediate area. Furthermore, the property which will be most visible off Birch Grove (plot 6) would be a dormer bungalow in design. Therefore, the proposal would not be out of character with the surrounding area.
 - (x) A revised plan has been received to add colour to the proposed site plan to identify more clearly the site access road and landscaping areas.
 - (xi) A condition has been included within the recommendation for an external lighting scheme.
 - (xii) The Head of Highways has raised no objections to the proposal. A turning area has been provided within the site.
 - (xiii) A landscaping condition has been included within the recommendation.
 - (xiv) Should the property owners wish to increase the height of a dwelling, planning approval would be required, however conditions removing certain permitted development rights relating to extensions in the roof have also been recommended.
 - (xv) A drainage condition has been included within the recommendation.
 - (xvi) A ground condition has been included within the recommendation. Any damage caused from building works would be a civil matter between private land owners.
 - (xvii) The agent has confirmed this area of land would be used for landscaping. A condition for the management of landscaping areas has been included within the recommendation.
 - (xviii) The Head of Highways has raised no objections to the application. As only four dwellings will be accessed off Birch Grove and no through access from Castle Road West is proposed, I am satisfied no significant harm to highways safety would occur as a result of this proposal.
 - (xix) The issue regarding the landscaping of the site will be addressed by a landscaping condition.
 - (xx) The agent has confirmed this is a typographical error and an amended design and access statement has been received.
 - (xxi) Creating a pavement on the public highway would be outside of the control of the applicant. The Head of Highways has raised no objections to the proposed site access from a highways safety perspective.

6.4 **Support**

No comments have been received which support the application.

7. **STATUTORY CONSULTATION**

7.2 Highways – no objections subject to a condition to ensure that before the properties are occupied new dropped kerbs are installed and reinstatement of footway is completed where necessary (where there are existing drop kerbs that are not used in the proposed development/installation of boundary treatment at the back of footway).

7.3 Environmental Health (Air Quality) – No objections subject to a condition for electric vehicle charging points being included within the recommendation.

7.4 Environmental Health (Contaminated Land) – No objections subject the standard contaminated land ground condition being included within the recommendation.

7.5 Planning Policy – The proposal is liable for CIL.

8. **GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY**

8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. **LOCAL PLANNING POLICY**

9.1 The following sections of the Council's Development Plan are relevant:-

HOU2: Delivering Sustainable Housing Growth

CSP4: Place Making

ENV3: Design Quality

ENV5: Flood Risk, Sustainable Drainage System and Urban Heat Island Effect

ENV8: Air Quality

SAD H2: Housing Windfalls

SAD EOS9: Urban Design Principles

9.2 HOU2: Delivering sustainable Housing Growth seeks to achieve sufficient land to provide sustainable housing growth. The proposal would provide a mix of house types which would contribute to the range of types and sizes of accommodation that are available in Borough.

- 9.3 CSP4: Place making seek to achieve place making with high quality urban design. The proposal is of a high-quality design, compatible with its surroundings as well as contributing to the range of types and sizes of accommodation that are available in Borough.
- 9.4 ENV3 Design Quality seeks to achieve high quality design which introduces measures that achieve crime prevention through secured by design principles. The proposal complies with these principles.
- 9.5 ENV5 Flood Risk, Sustainable Drainage System and Urban Heat Island Effect refers to ensuring that schemes do not exacerbate flooding using sustainable drainage systems. A drainage condition to include such measures has been included within the recommendation.
- 9.6 ENV8: Air Quality refers to reducing exposure to poor quality air. A condition for electric vehicle charging points has been included within the recommendation.
- 9.7 SAD H2: Housing Windfalls refers to proposals for residential development on unallocated land. The proposal complies with this policy as the development will bring an under used piece of land back into beneficial use and meets the requirements of other development plan policies.
- 9.8 SAD EOS9: Urban Design Principles refers to new development being of appropriate scale and compatible with their surroundings. The proposed development complies with this policy.

10. MATERIAL CONSIDERATIONS

- 10.1 The key material considerations with this proposal are design referred to above (9.2), the impact on adjoining properties in terms of loss of light, outlook and privacy, highways matters, nature conservation and drainage. As indicated in 6.3 above (response to objections):-
- 10.2 Loss of light, outlook and privacy to neighbouring properties. As indicated in 6.3 (i) and (ii), I am satisfied no significant loss of light, outlook or privacy would occur to neighbouring properties as a result of this development.
- 10.3 Design. It is considered the design of the proposed development is acceptable and accords with relevant policy.
- 10.4 Traffic and highways concerns. The Head of Highways has raised no objections to the proposal. The dwellings would have sufficient off-street

car parking to meet the councils adopted standards for 3 and 4 bed properties.

- 10.5 Nature conservation. Objectors have raised concerns mature trees have been removed from the site. This is unfortunate, however, none of the trees in question were subject to a tree preservation order. To improve the remaining green space, a landscaping condition has been included within the recommendation for a hard and soft landscaping scheme.
- 10.6 Drainage. A condition for a drainage plan has been included within the recommendation.

11. IMPLICATIONS FOR SANDWELL'S VISION

- 11.1 The proposal supports Ambitions 7, 8 and 10 of the Sandwell Vision 2030:-
- 11.2 Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.
- 11.4 Ambition 8 – Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.
- 11.5 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

- 12.1 In terms of national and local policy, the application is compatible with policy HOU2 and CSP4 of the Black Country Core Strategy, as the proposal would provide house types which would contribute to the range of types and sizes of accommodation that is available in the Borough. In addition, the proposed dwellings are of a suitable appearance which accords with policies ENV3 Design Quality and SAD EOS9 Urban Design Principles. Furthermore, adequate provision has also been made for internal living accommodation, external amenity space and car parking provision which accords with the Councils SPD: Revised Residential Design Guide 2014.
- 12.2 The proposed dwellings would not significantly impact on the light, outlook or privacy of neighbouring dwellings.

12.3 On balance, it is considered that the proposed development meets the requirements of national and local policy, whilst having a limited impact on the amenity of neighbouring properties.

13. STRATEGIC RESOURCE IMPLICATIONS

13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 There are no crime and disorder issues with this application.

18. SUSTAINABILITY OF PROPOSALS

18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

19.1 Refer to the summary of the report (12).

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

20.1 There will be no impact.

21. APPENDICES:

Site Plan

Context Plan

Plan No. 01

Plan No. 02 rev B

Plan No. 03

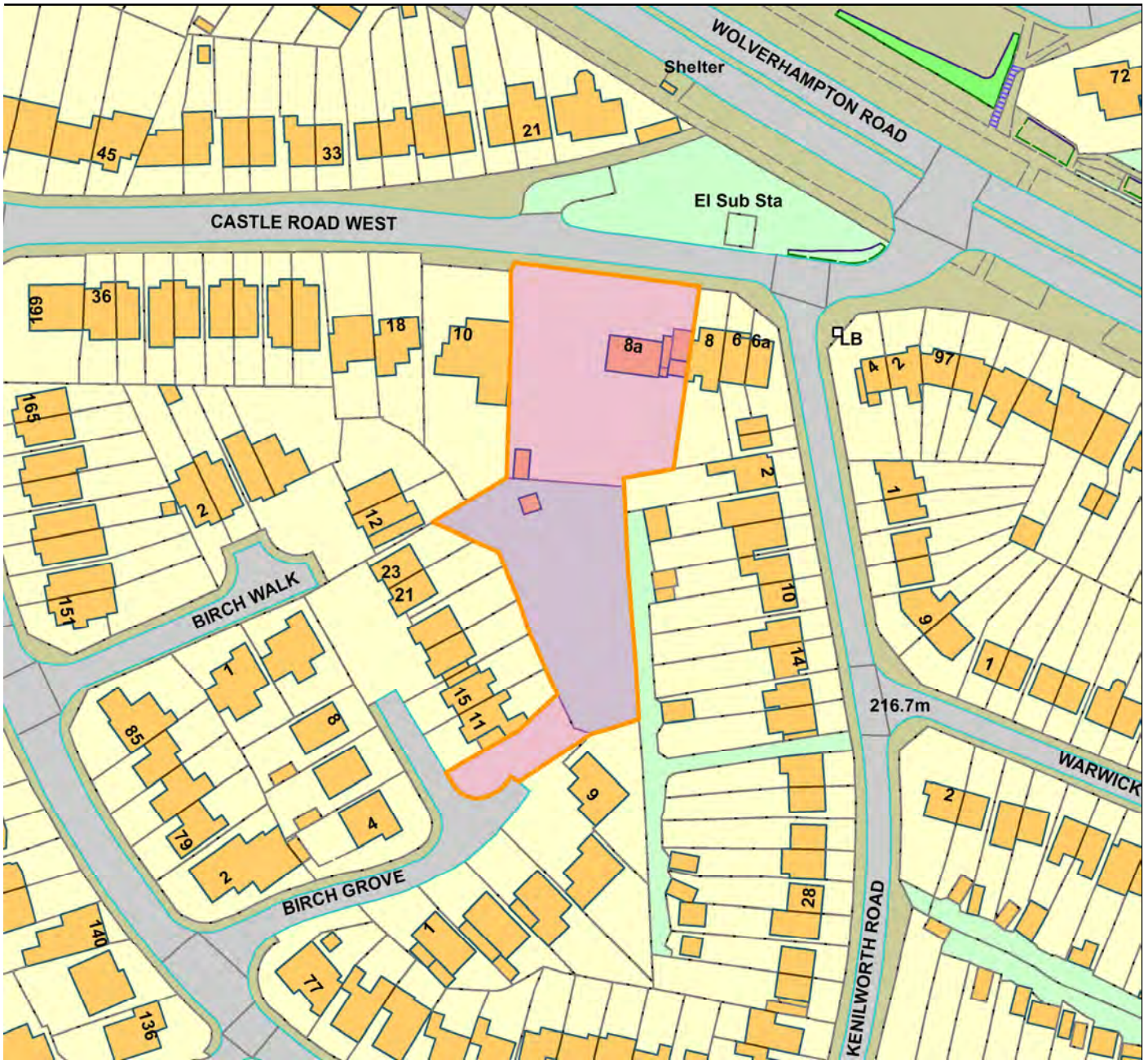
Plan No. 04

Plan No. 06

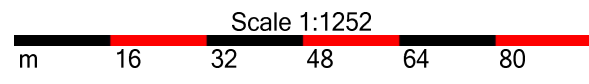
Plan No. 06 – sections

Plan No. 08

DC/19/63546
Land Adjacent 8A Castle Road West, Oldbury



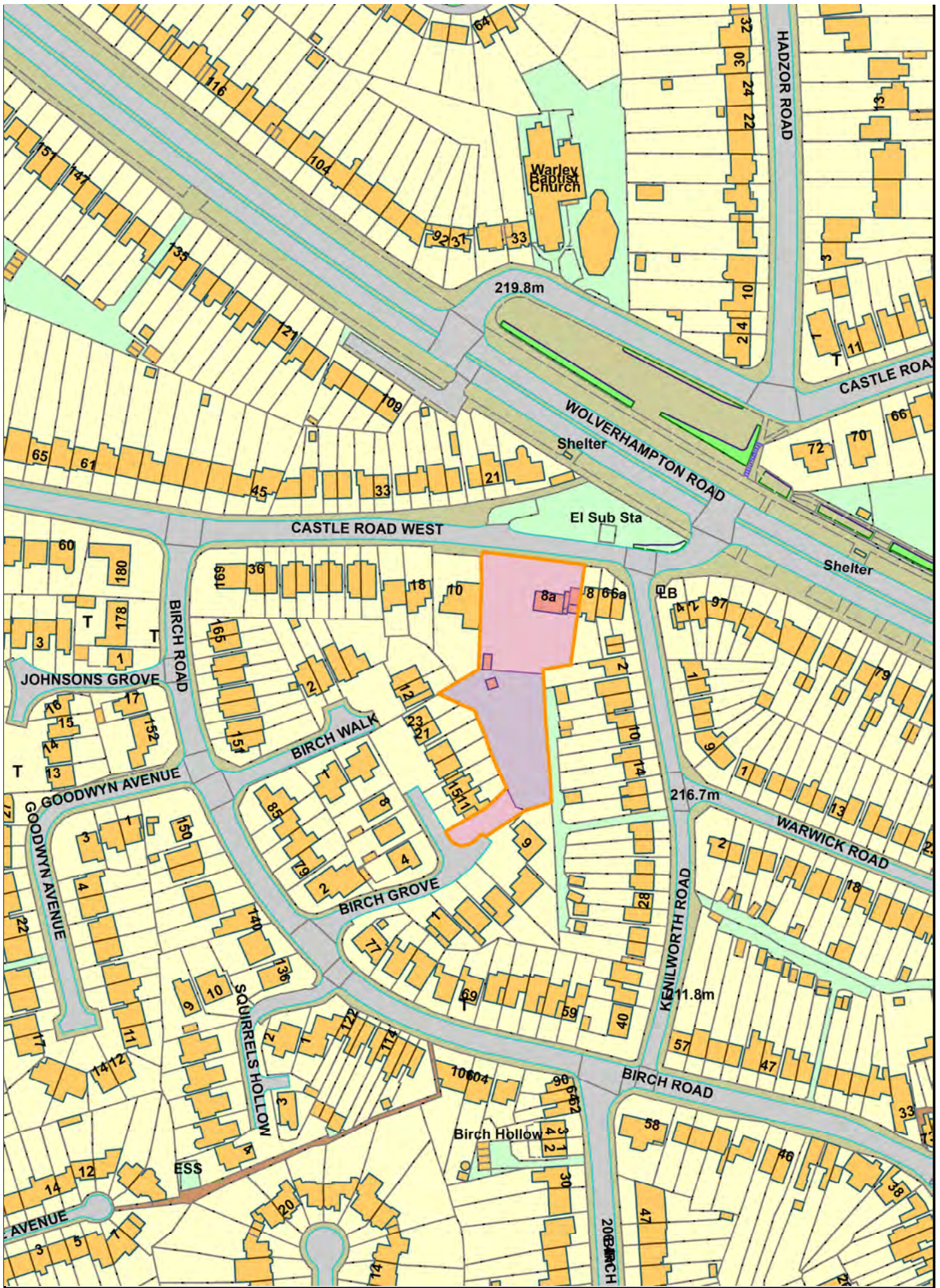
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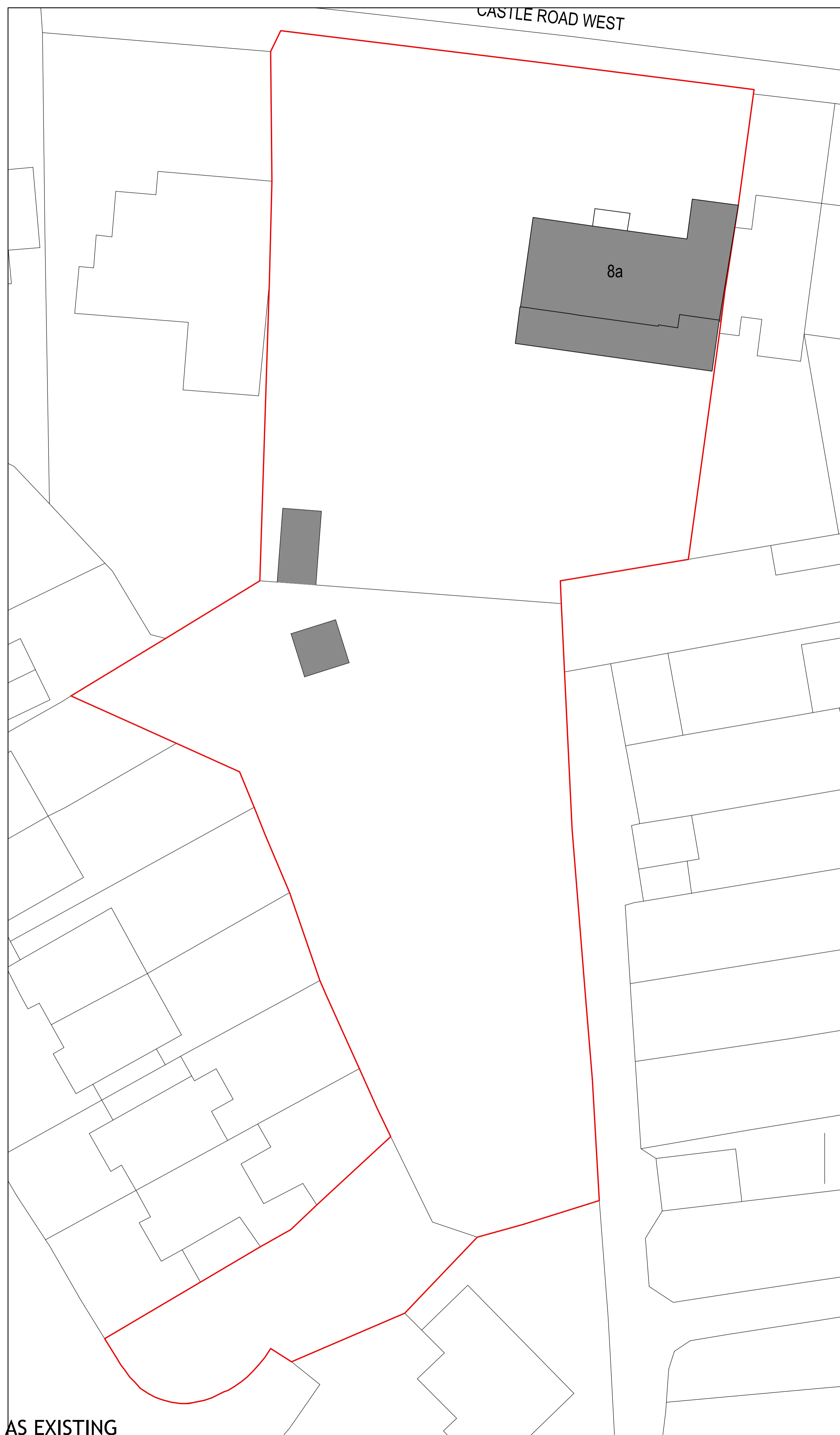


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Organisation	Not Set
Department	Not Set
Comments	
Date	22 November 2019
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AS EXISTING

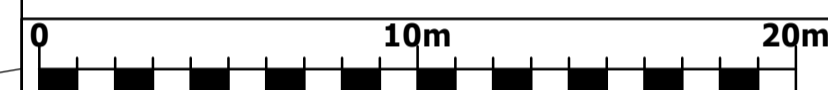


AS PROPOSED

SITE PLAN KEY

	Site Boundary
	Disposable Land Boundary
	Existing Property
	Existing Structure To Be Demolished
	Proposed Level

	Roof
	Solar Panels
	Tarmacadam
	Block Paving
	Grassed Area



SCALE 1:200 @ A1

NOTE

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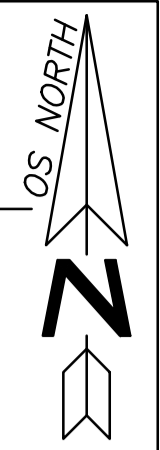
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A	14.10.19	Plots 1 & 2 roof lights
-	17/09/19	Issued for planning application
Rev	Date	Comments

Job
Land adjacent to 8A Castle Road West, Oldbury, B68 0EW

Dwg Title
SITE PLAN AS EXISTING & PROPOSED

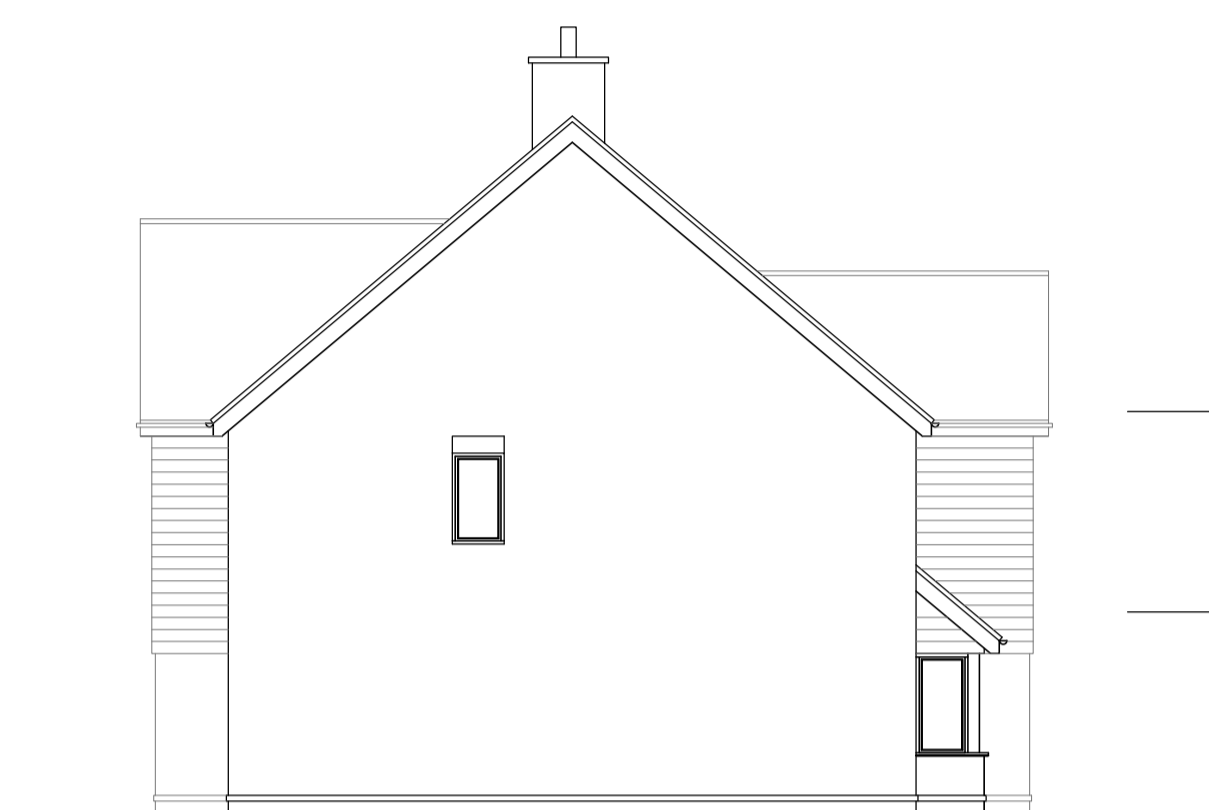
LAPWORTH ARCHITECTS
Lapworth Architects Ltd
4 Edward Street, Birmingham, B1 2RX
Tel - 0121 455 0032

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Job no.	Dwg no.	Revision
2463	02	B

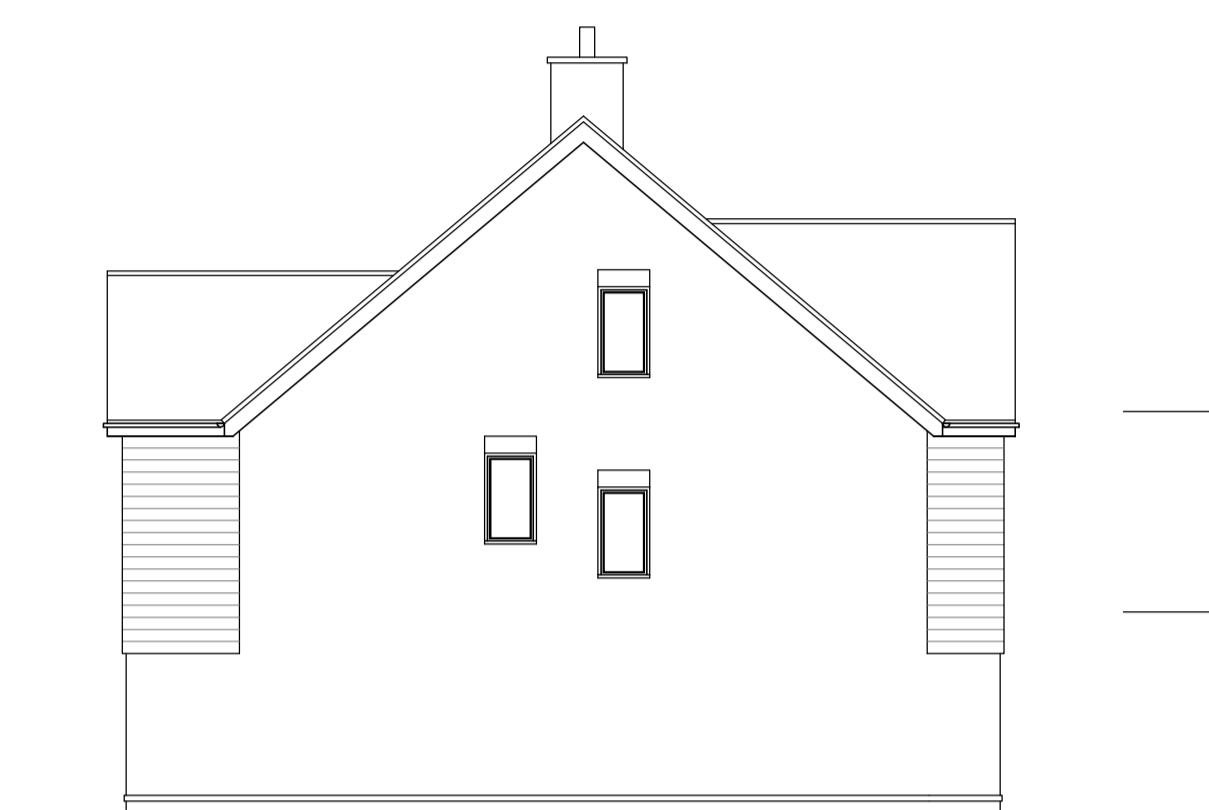




PLOT 1+2
FRONT ELEVATION



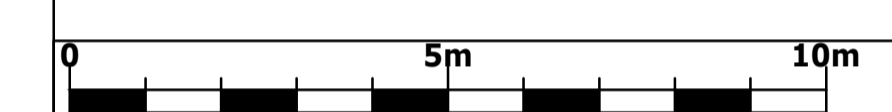
PLOT 1+2
SIDE ELEVATION



PLOT 1+2
SIDE ELEVATION



PLOT 1+2
REAR ELEVATION



SCALE 1:100 @ A1

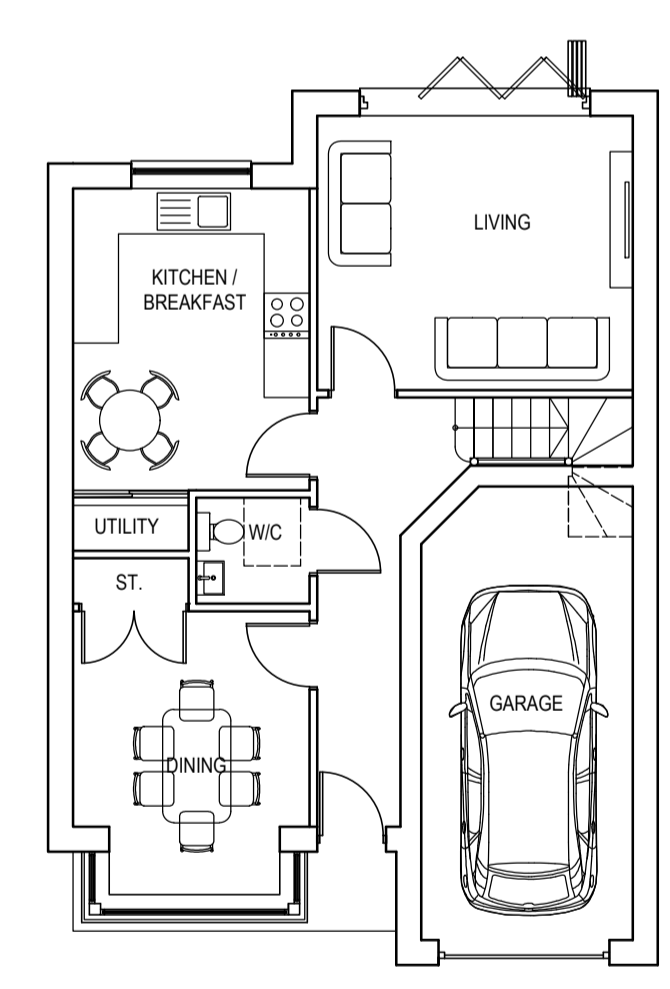
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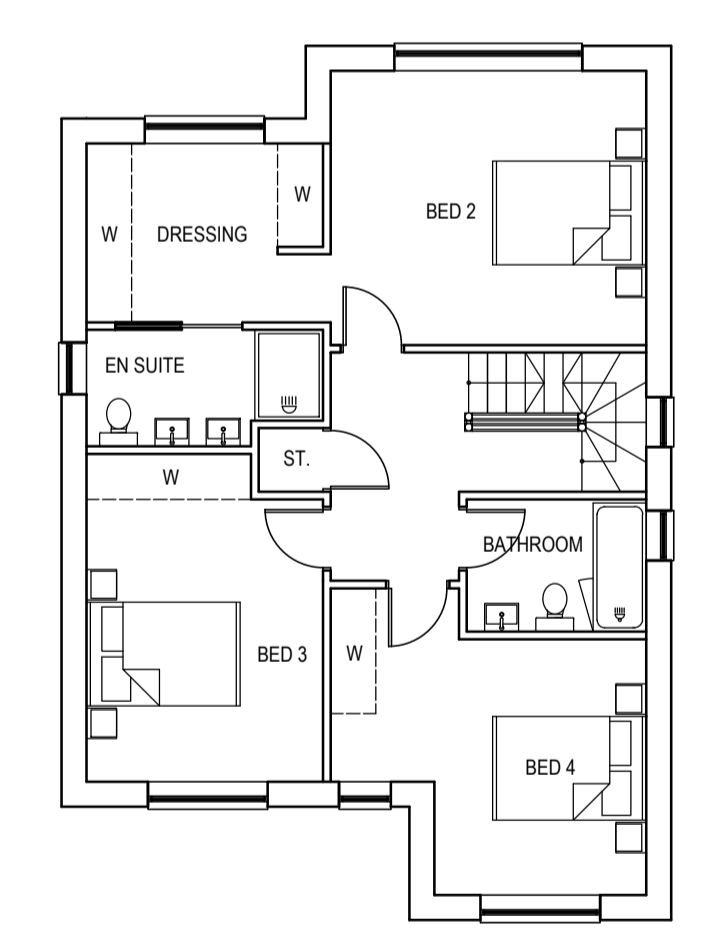
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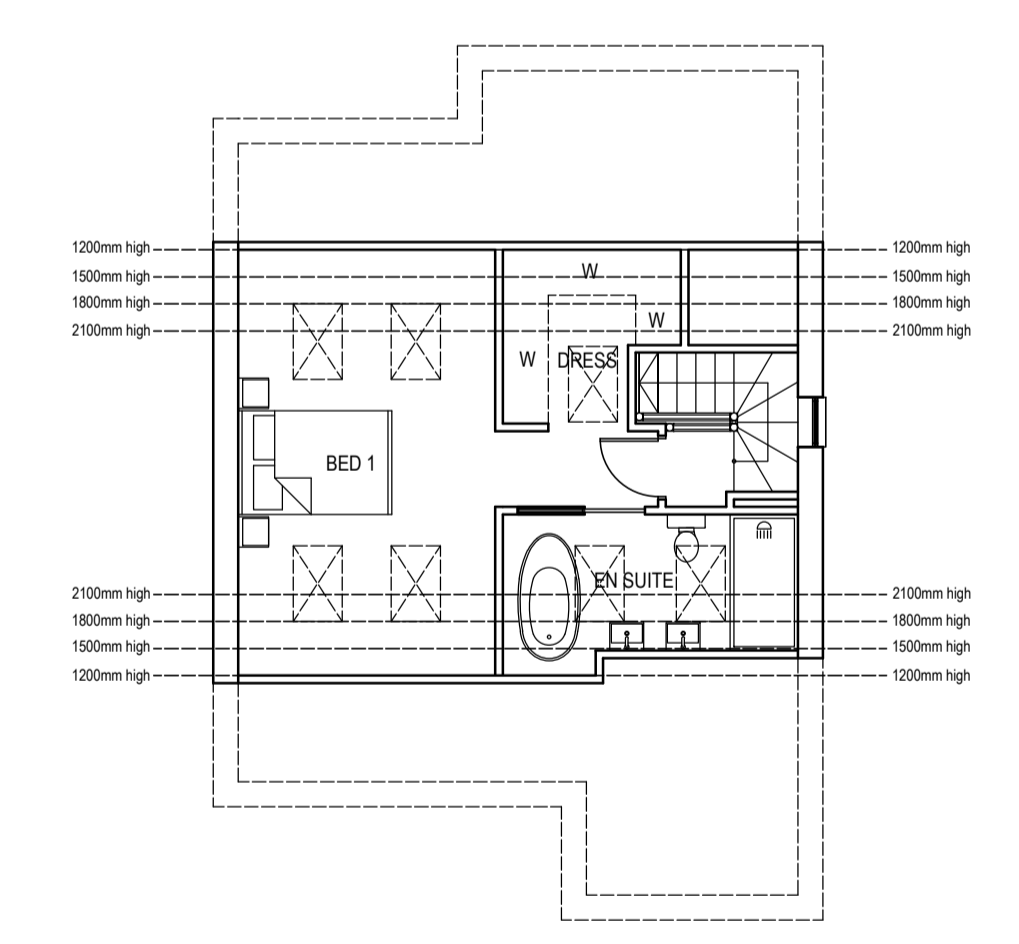
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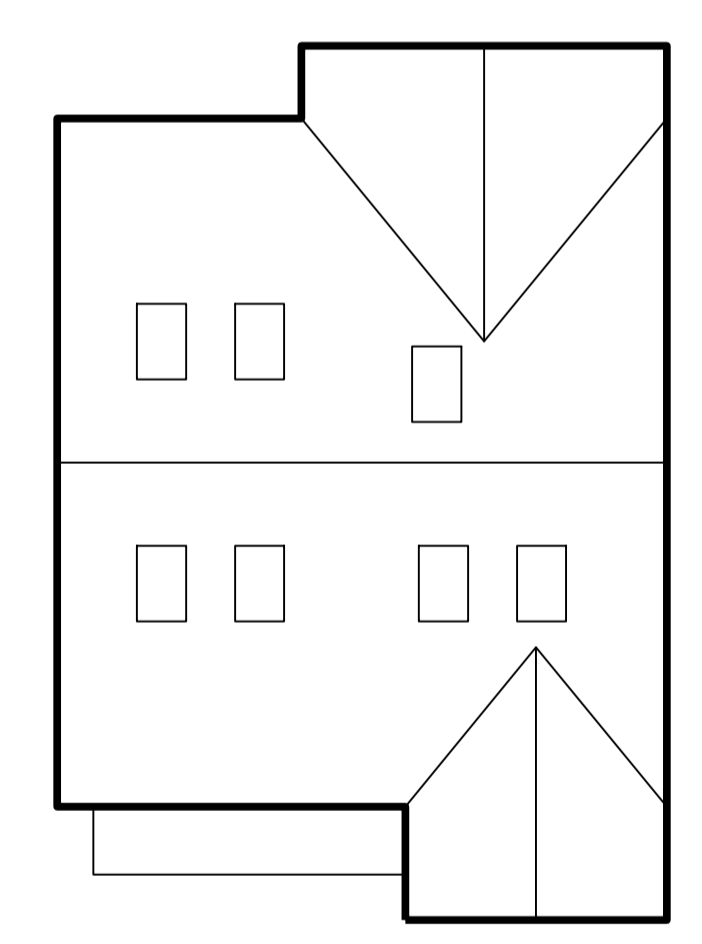
PLOT 1+2
GROUND FLOOR PLAN



PLOT 1+2
FIRST FLOOR PLAN



PLOT 1+2
SECOND FLOOR PLAN



PLOT 1+2
ROOF PLAN

Rev	Date	Comments
A	14.10.19	Roof lights
-	17/09/19	Issued for planning application

Job
Land adjacent to 8A Castle Road West, Oldbury,
B68 0EW

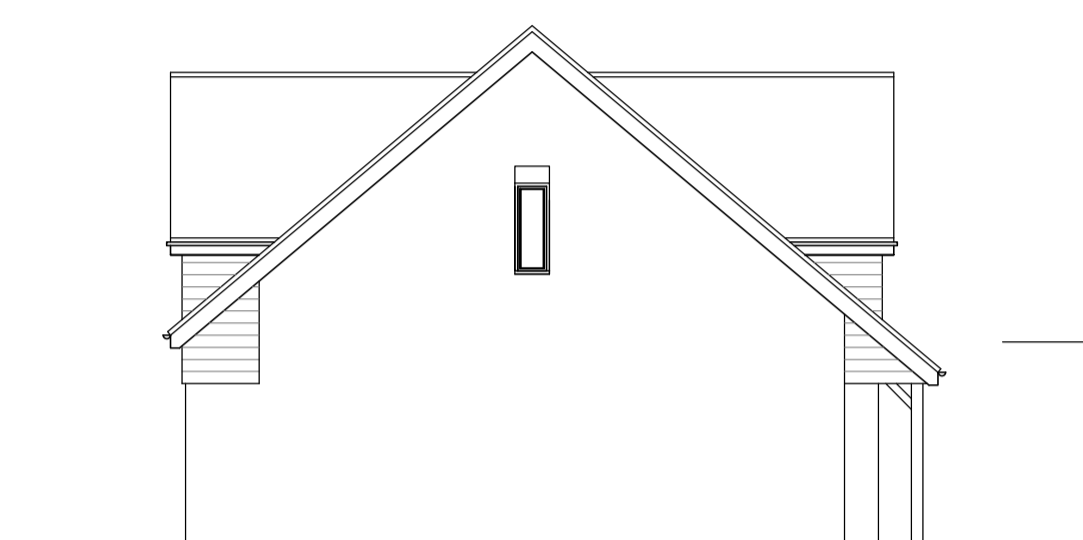
Dwg Title
FLOOR PLANS & ELEVATIONS AS PROPOSED

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Lapworth Architects Ltd
4 Edward Street, Birmingham, B1 2RX
Tel - 0121 455 0032

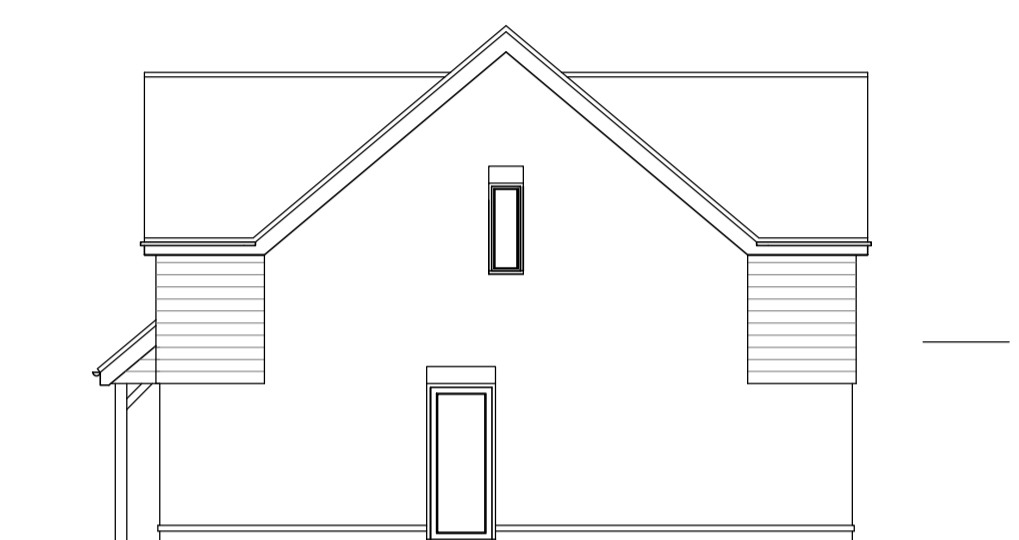
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PLOT 3
FRONT ELEVATION



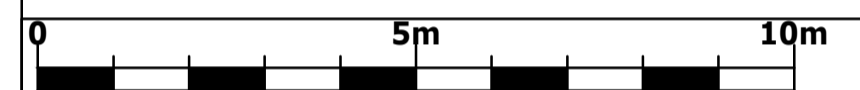
PLOT 3
SIDE ELEVATION



PLOT 3
SIDE ELEVATION



PLOT 3
REAR ELEVATION



SCALE 1:100 @ A1

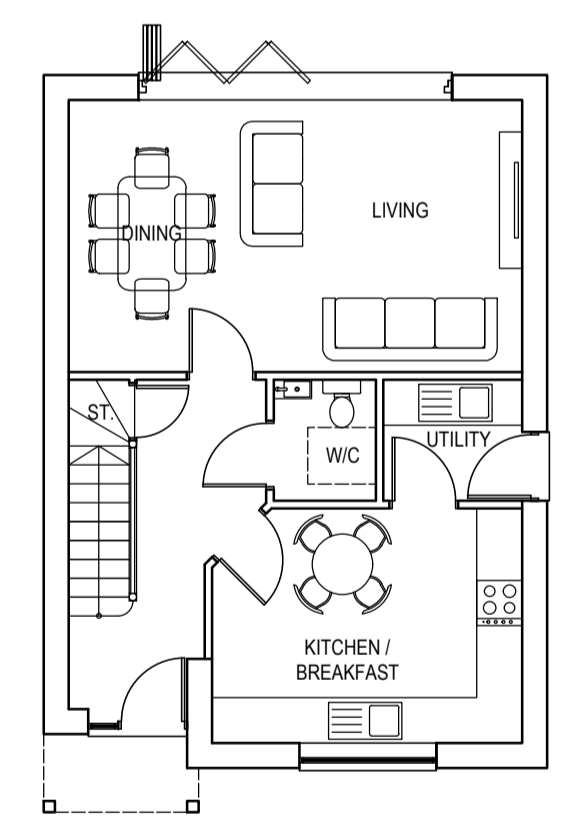
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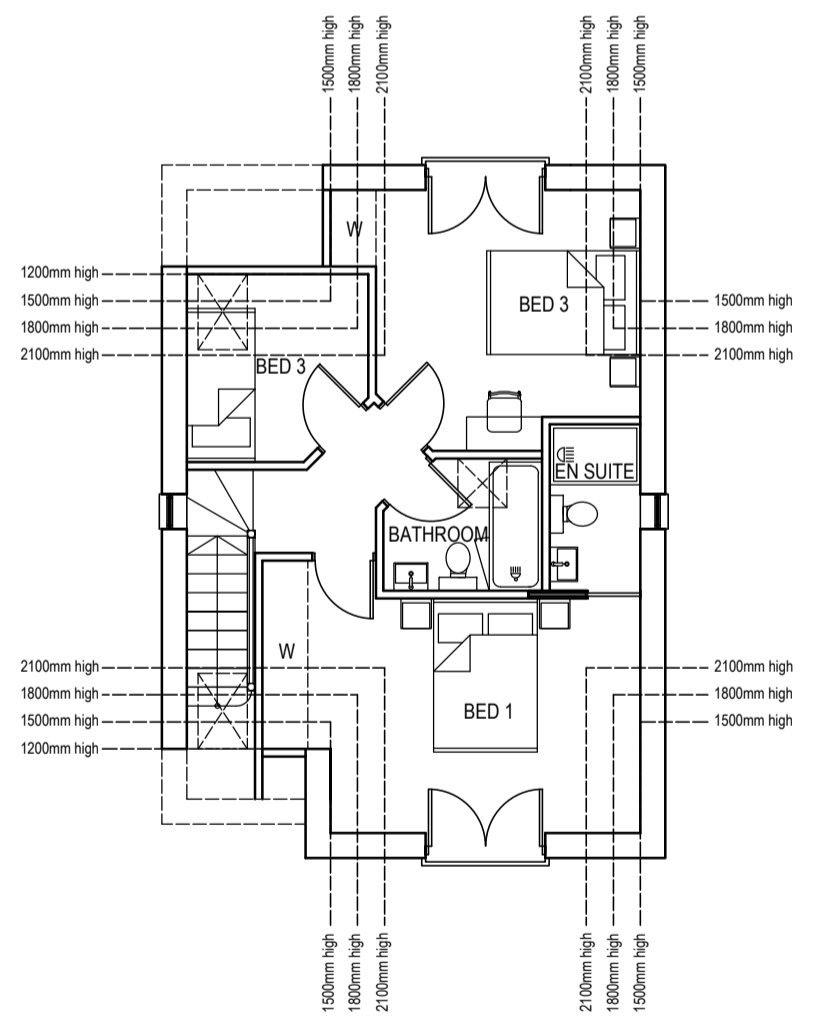
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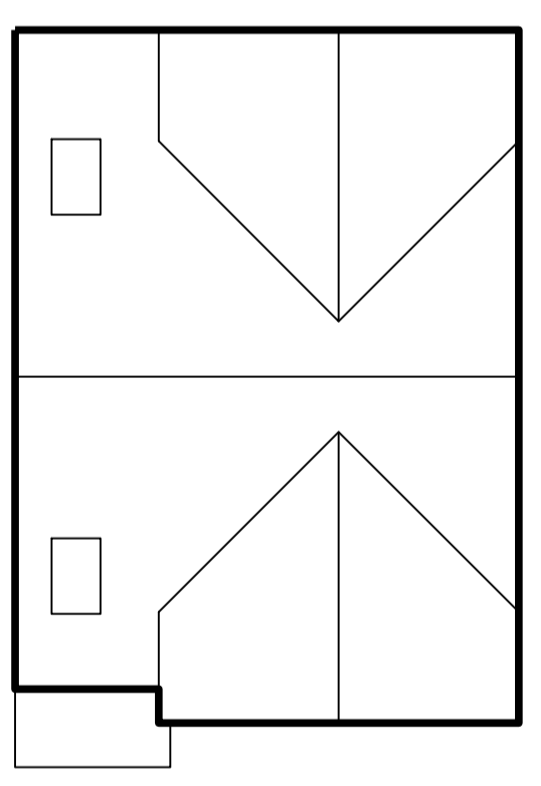
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PLOT 3
GROUND FLOOR PLAN



PLOT 3
FIRST FLOOR PLAN



PLOT 3
ROOF PLAN

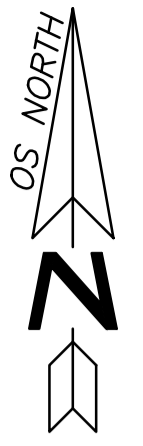
Rev	Date	Comments

Job
Land adjacent to 8A Castle Road West, Oldbury, B68 0EW

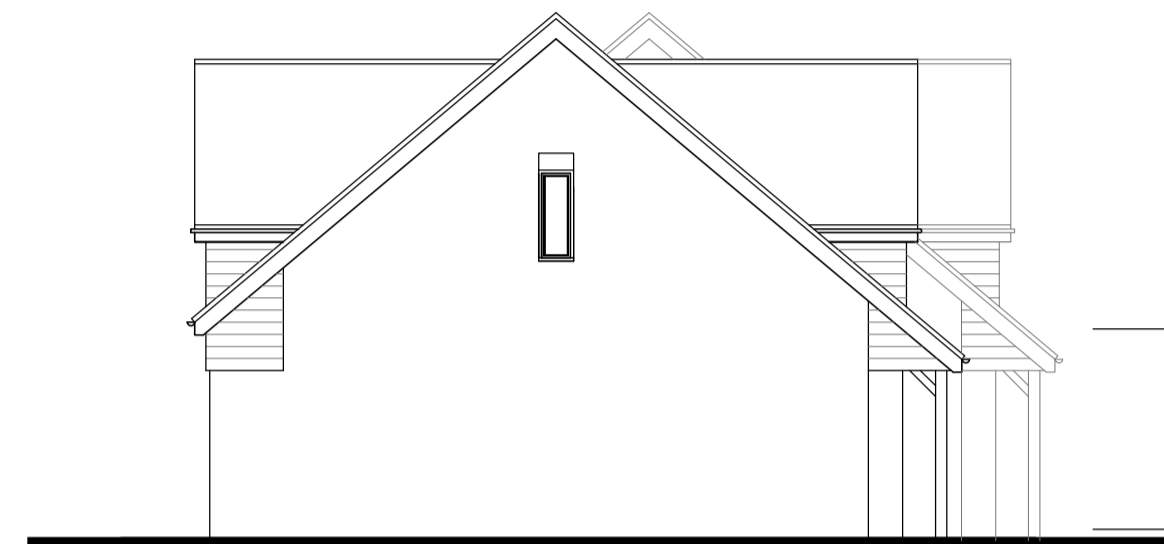
Dwg Title
FLOOR PLANS & ELEVATIONS AS PROPOSED

LAPWORTH ARCHITECTS
Lapworth Architects Ltd
4 Edward Street, Birmingham, B1 2RX
Tel - 0121 455 0032

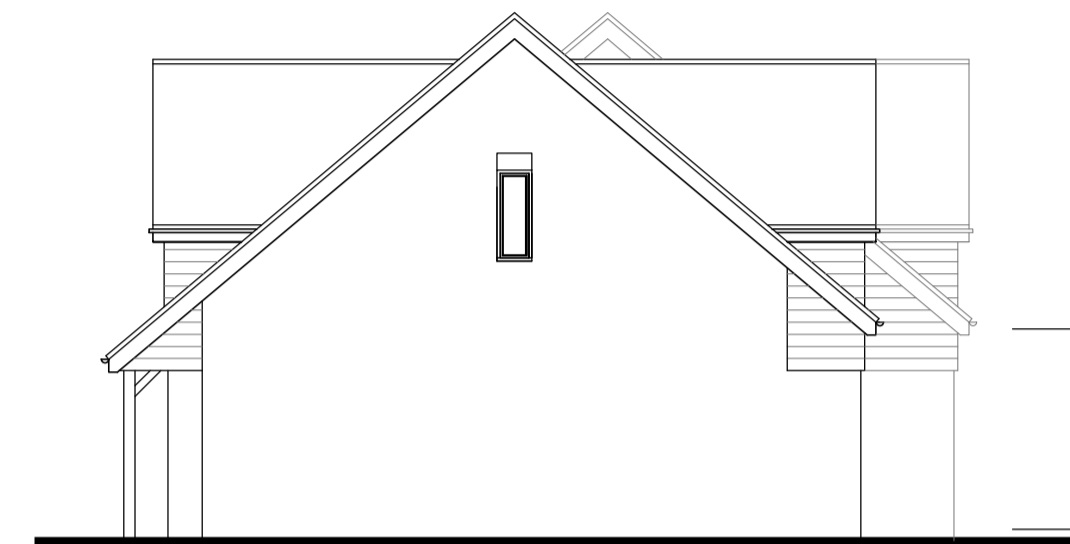
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1:100 @ A1	AUG 2019	
Job no.	Dwg no.	Revision
2463	04	-



PLOT 4 PLOT 5
FRONT ELEVATION



PLOT 4
SIDE ELEVATION



PLOT 5
SIDE ELEVATION



PLOT 5
REAR ELEVATION



SCALE 1:100 @ A1

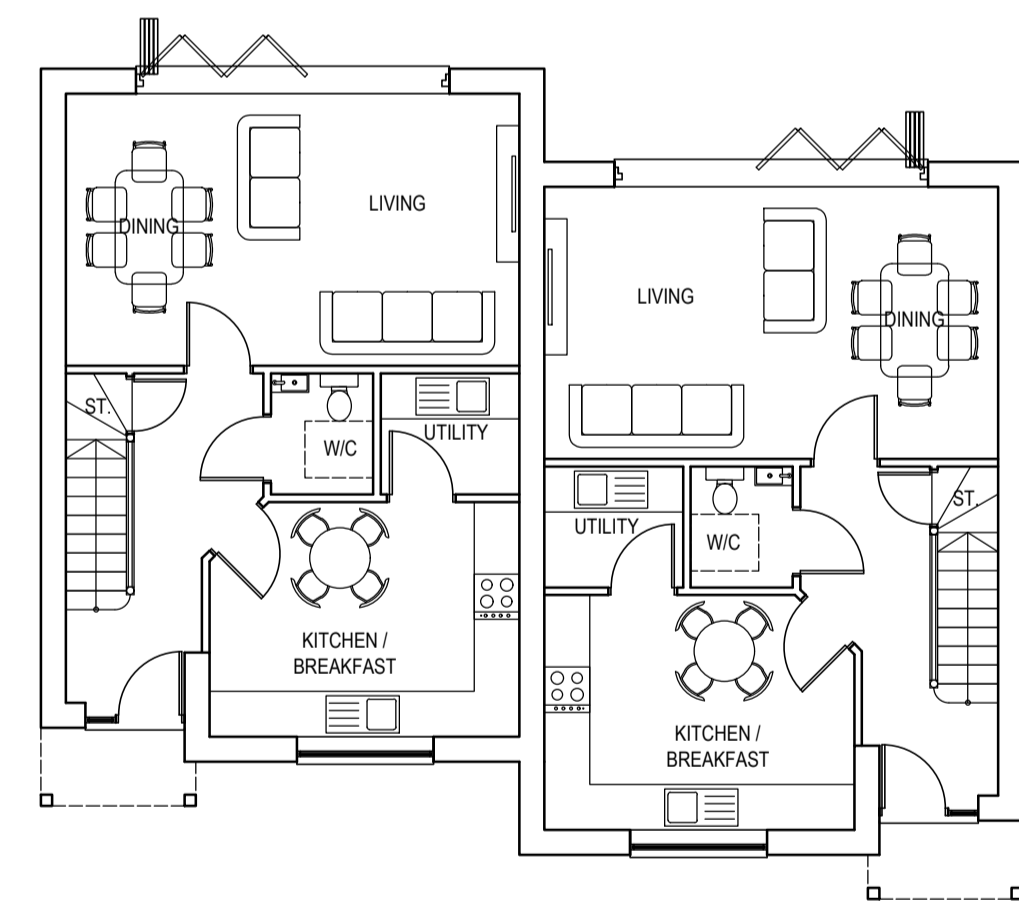
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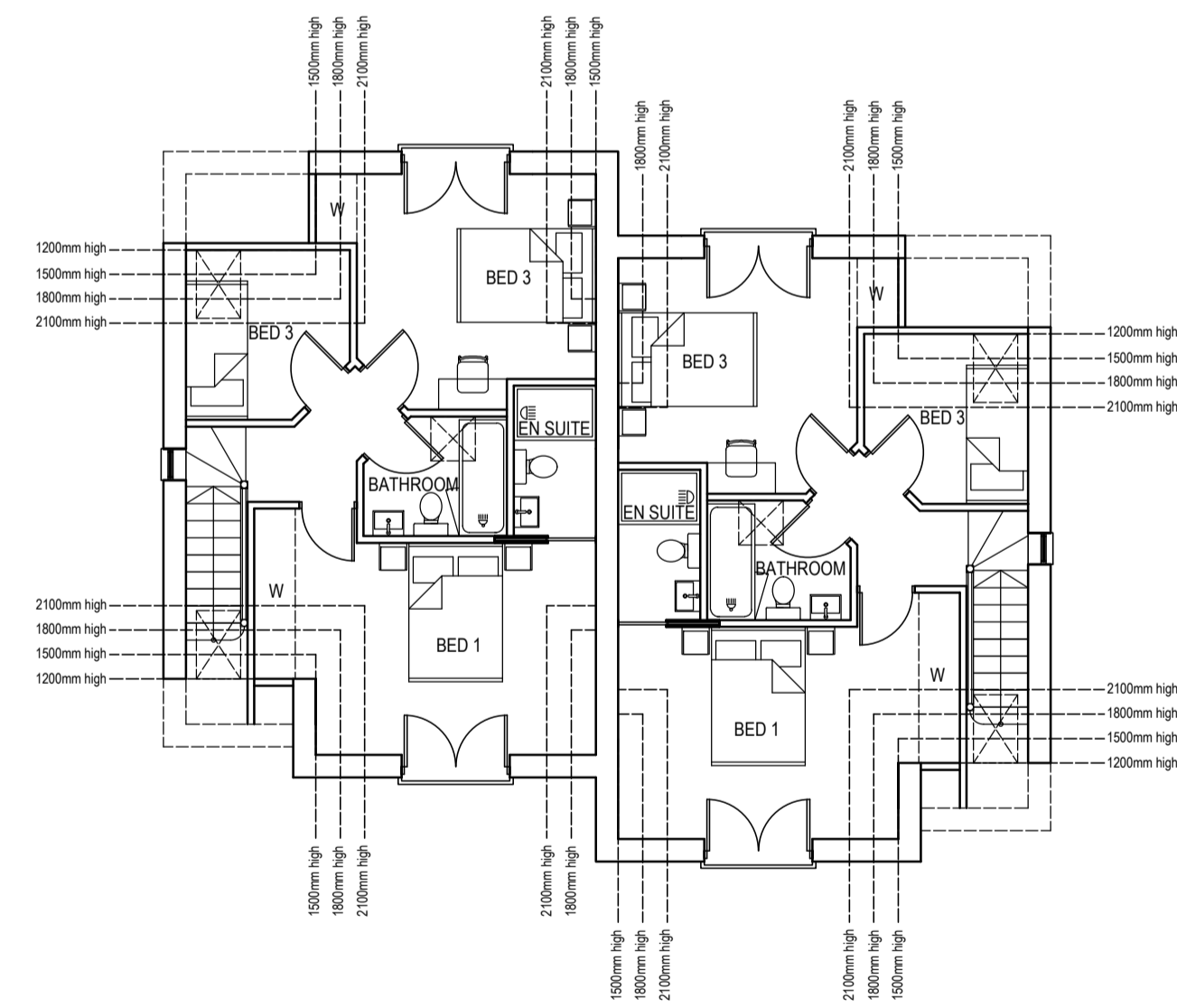
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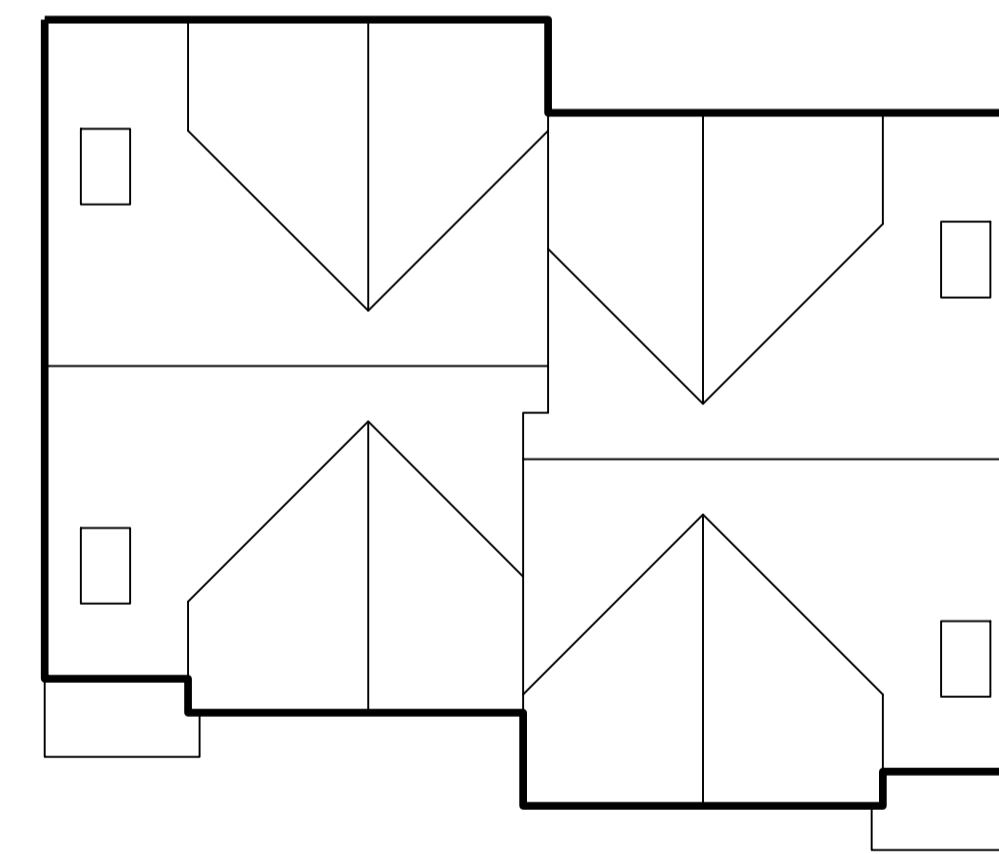
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PLOT 4 PLOT 5
GROUND FLOOR PLAN



PLOT 4 PLOT 5
FIRST FLOOR PLAN



PLOT 4 PLOT 5
ROOF PLAN

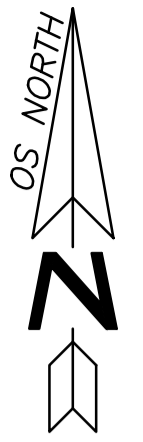
Rev	Date	Comments

Job
Land adjacent to 8A Castle Road West, Oldbury,
B68 0EW

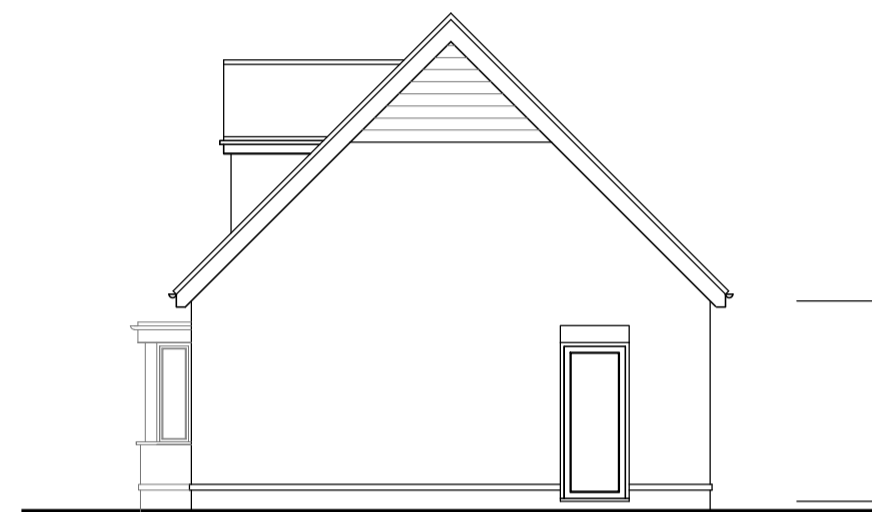
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FLOOR PLANS & ELEVATIONS AS PROPOSED

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Scale 1:100 @ A1	Date AUG 2019	Drawn
Job no. 2463	Dwg no. 05	Revision -



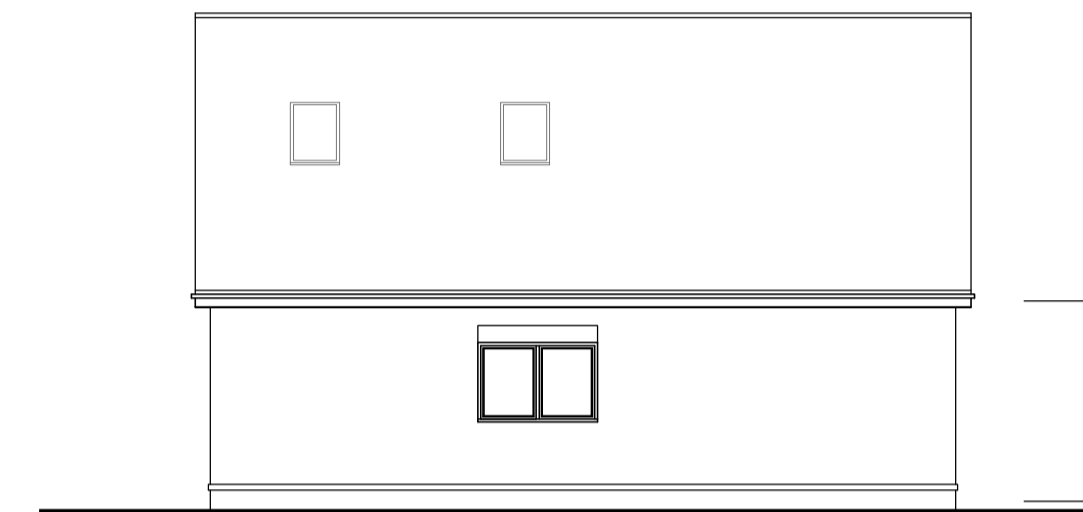
PLOT 6
FRONT ELEVATION



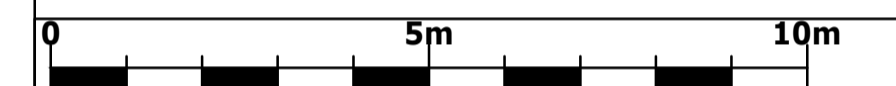
PLOT 6
SIDE ELEVATION



PLOT 6
SIDE ELEVATION



PLOT 6
REAR ELEVATION



SCALE 1:100 @ A1

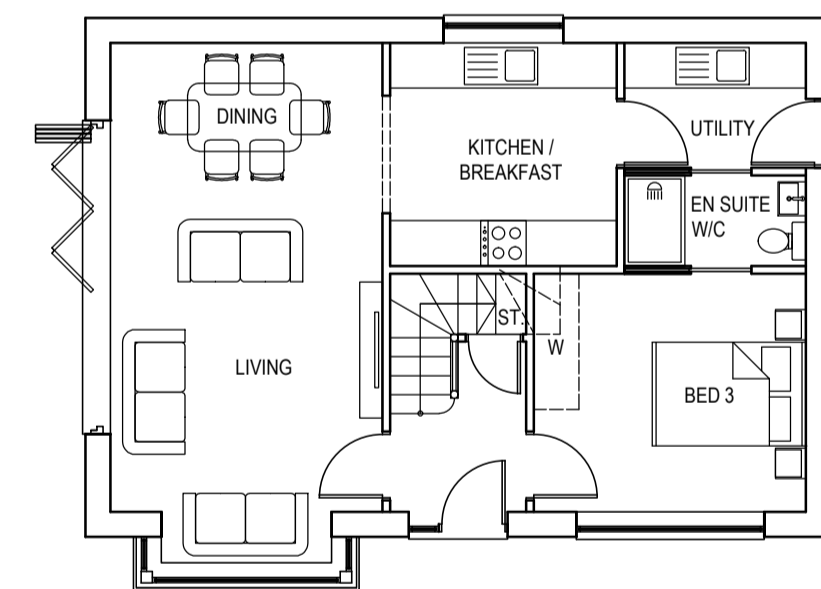
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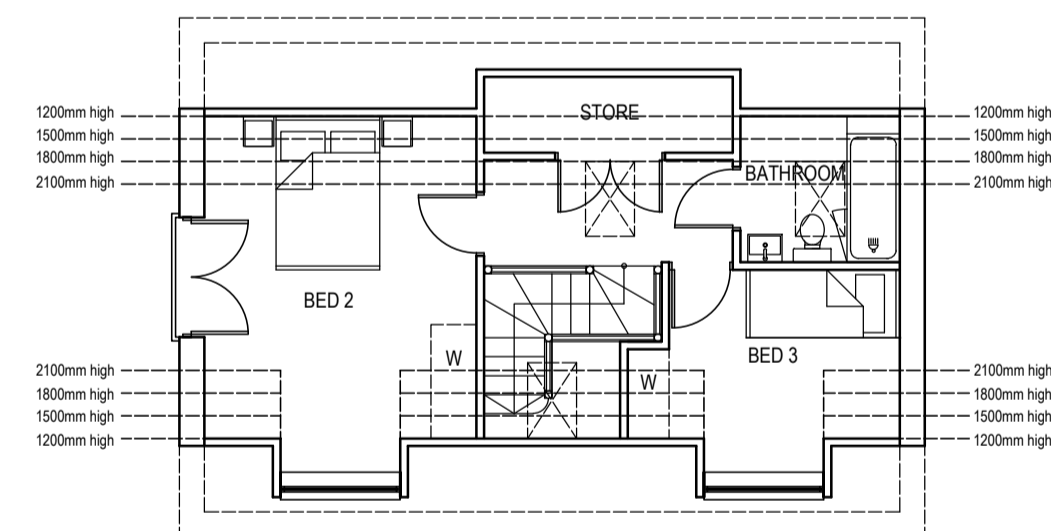
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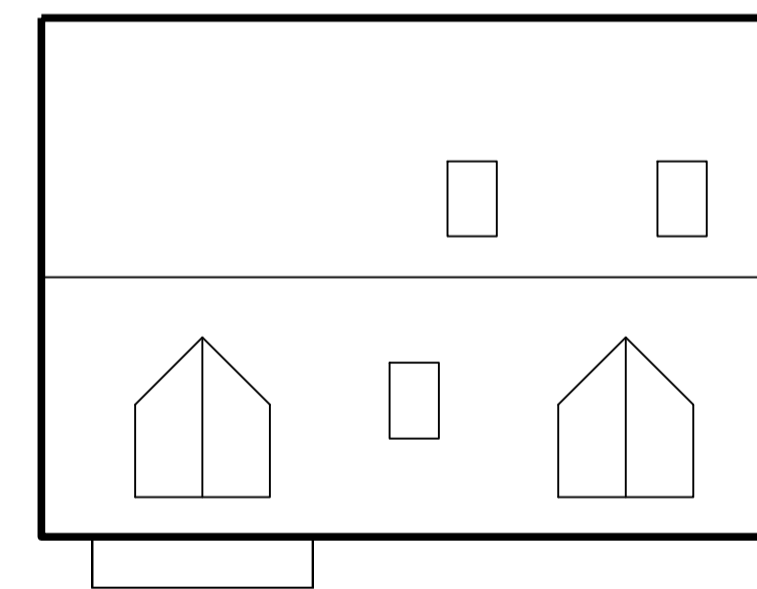
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PLOT 6
GROUND FLOOR PLAN



PLOT 6
FIRST FLOOR PLAN



PLOT 6
ROOF PLAN

Rev	Date	Comments

Job

Land adjacent to 8A Castle Road West, Oldbury,
B68 0EW

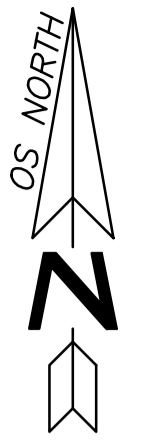
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FLOOR PLANS & ELEVATIONS AS PROPOSED

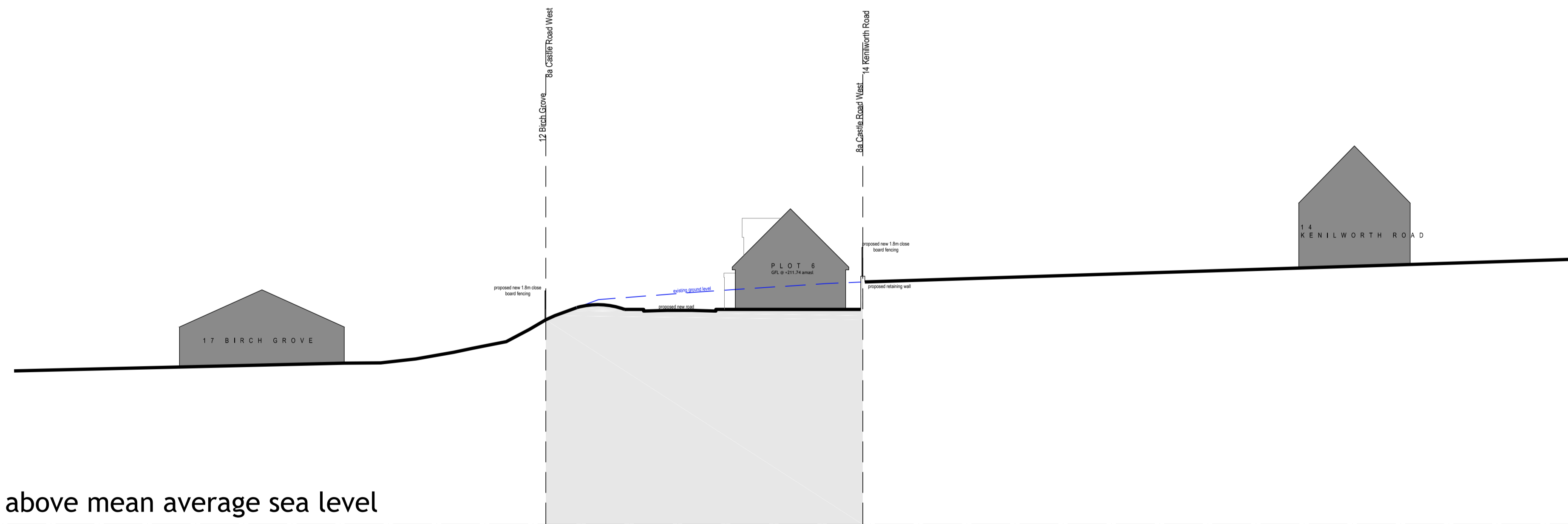
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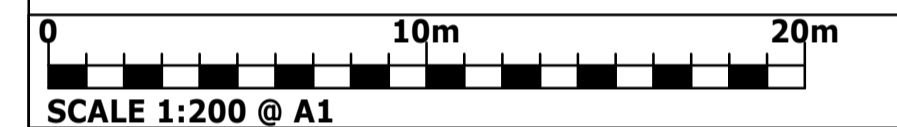
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Job no.	Dwg no.	Revision
2463	06	-



200m above mean average sea level
SECTION A



200m above mean average sea level
SECTION B



SCALE 1:200 @ A1

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Rev	Date	Comments

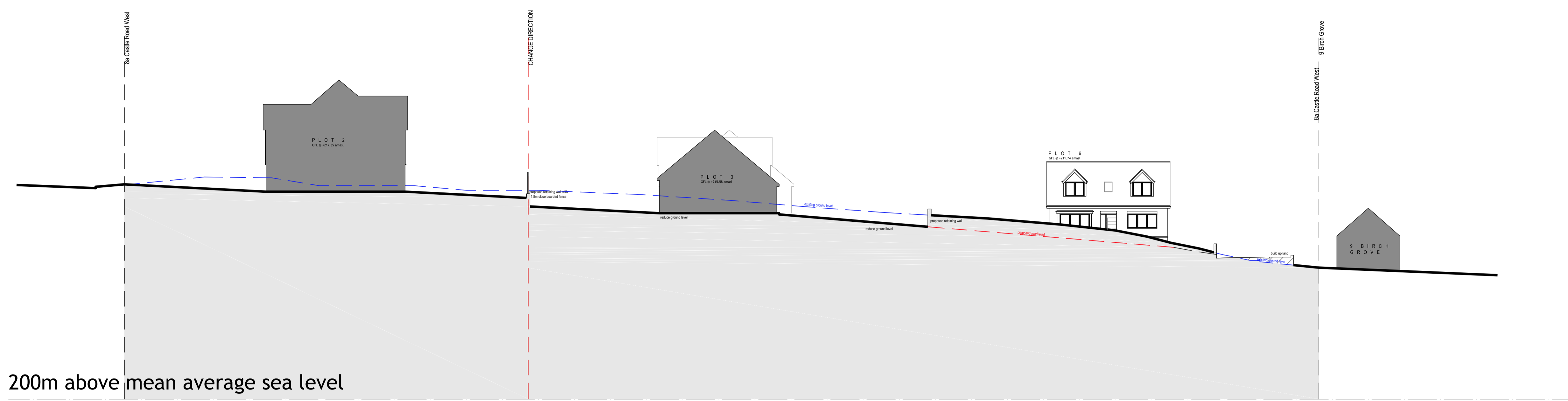
Job
Land adjacent to 8A Castle Road West, Oldbury, B68 0EW

Dwg Title
SITE SECTIONS AS PROPOSED

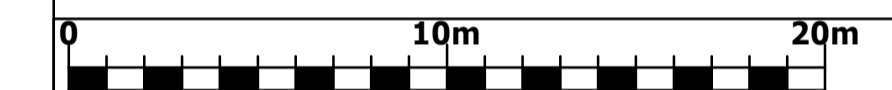
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Tel - 0121 455 0032

Scale	Date	Drawn
1:200 @ A1	AUG 2019	
Job no.	Dwg no.	Revision
2463	06	-



200m above mean average sea level
SECTION C



SCALE 1:200 @ A1
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200m above mean average sea level
STREETSCAPE ELEVATION

Rev	Date	Comments

Job
Land adjacent to 8A Castle Road West, Oldbury, B68 0EW



Dwg Title
SITE SECTIONS AS PROPOSED

LAPWORTH ARCHITECTS
Lapworth Architects Ltd
4 Edward Street, Birmingham, B1 2RX
Tel - 0121 455 0032

Scale	Date	Drawn
1:200 @ A1	AUG 2019	
Job no.	Dwg no.	Revision
2463	08	-

REPORT TO PLANNING COMMITTEE

4th December 2019

Application Reference	DC/19/63633
Application Received	11 th October 2019
Application Description	Proposed 4 No. additional fourth floor flats to 5 No. existing blocks with a new pitched roof, two main entrance extensions and lift, new car parking area and accessible pathways. Proposed new pitched roof, new shop fronts, roller shutters, front canopies and re-cladding of existing Lion Farm shops and flats.
Application Address	Coniston, Derwent, Rydal, Ullswater & Windermere Houses, Badsey Road & Lion Farm Shops And Flats, Hartlebury Road, Oldbury
Applicant	Mr Phil Deery, Sandwell MBC, Sandwell Council House, Freeth Street, Oldbury, B69 3DE
Ward	Langley
Contribution towards Vision 2030:	 
Contact Officer	William Stevens 0121 569 4897 William_stevens@sandwell.gov.uk

RECOMMENDATION

That Members Visit the site

1. BACKGROUND

- 1.1 This application has been reported to your Planning Committee because the applicant is Sandwell Council and the proposal has generated local interest. By reporting the application at an early stage, it will enable Members to visit the site but also adhere to government timescales.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The material planning considerations will be addressed at the next meeting in the full report.

3. The APPLICATION SITE

- 3.1 The application site is split over two locations.
- 3.2 The larger of the two sites relates to five individual blocks of flats on the north-western side of Badsey Road, Oldbury on the Lion Farm Estate. These blocks of flats are known as Windermere House, Coniston House, Rydal house, Derwent House and Ullswater House.
- 3.3 The second site is contained with the Lion Farm shops themselves, within a Local Centre on the northern side of Hartlebury Road, Oldbury.

4. PLANNING HISTORY

- 4.2 There is no relevant planning history.

5. APPLICATION DETAILS

- 5.1 The applicant proposes to erect four additional fourth floor flats to each of the five existing blocks (Windermere House, Coniston House, Rydal house, Derwent House and Ullswater House). A new pitched roof is also proposed with two main entrance extensions and internal lift, with new car parking area and accessible pathways.
- 5.2 With regards to the Lion Farm shops and flats the applicant proposes a new pitched roof, new shop fronts with roller shutters and front canopies and with the re-cladding of the whole building.

6. PUBLICITY

- 6.1 The application has been publicised by 374 neighbour notification letters, by site notice and press notice. Comments received will be reported to your next committee.

7. STATUTORY CONSULTATION

- 7.1 All statutory consultations will be reported at your next meeting.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

- 8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

- 9.1 All statutory consultations will be reported at your next meeting.

10. MATERIAL CONSIDERATIONS

- 10.1 All statutory consultations will be reported at your next meeting.

11. IMPLICATIONS FOR SANDWELL'S VISION

- 11.1 The proposal supports Ambitions 7 and 10 of the Sandwell Vision 2030:
- 11.2 Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.
- 11.3 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

- 12.1 That Members visit the site in order to allow the application to be determined within the statutory time period.

13. STRATEGIC RESOURCE IMPLICATIONS

- 13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

- 14.1 This application is submitted under section 55 of the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

- 15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

17.1 Comments will be reported at your next meeting.

18. SUSTAINABILITY OF PROPOSALS

18.1 Comments will be reported at your next meeting.

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

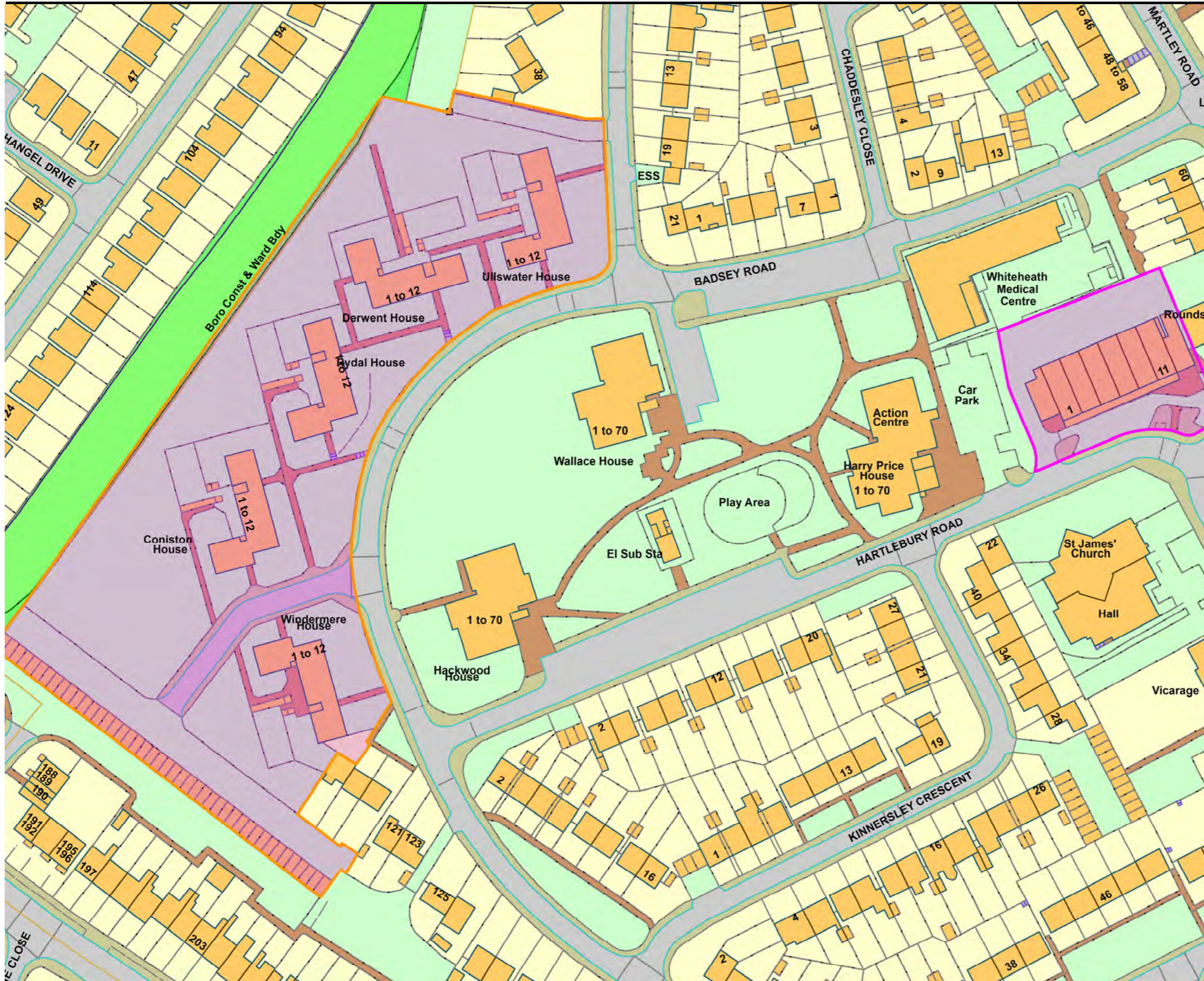
19.1 Comments will be reported at your next meeting.

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

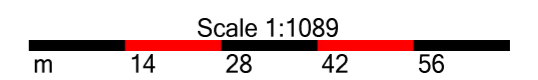
20.1 The proposal is on Council owned land.

21. APPENDICES:

Site Plan
Context Plan



Scale 1:1088




Organisation	Not Set
Department	Not Set
Comments	Not Set
Date	22 November 2019

DC/19/63633

Planning Committee

4 December 2019

Subject:	Applications Determined Under Delegated Powers
Director:	Director – Regeneration and Growth Amy Harhoff
Contribution towards Vision 2030:	
Contact Officer(s):	<p>John Baker Service Manager - Development Planning and Building Consultancy John_baker@sandwell.gov.uk</p> <p>Alison Bishop Development Planning Manager Alison_bishop@sandwell.gov.uk</p>

DECISION RECOMMENDATIONS

That Planning Committee:

Notes the applications determined under delegated powers by the Director – Regeneration and Growth set out in the attached Appendix.

1 PURPOSE OF THE REPORT

This report is submitted to inform the Committee of the decisions on applications determined under delegated powers by the Director – Regeneration and Growth.

2 IMPLICATIONS FOR SANDWELL'S VISION 2030

The planning process contributes to the following ambitions of the Vision 2030 –

Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.

Ambition 8 - Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.

Ambition 10 - Sandwell now has a national reputation for getting things done, where all local partners are focused on what really matters in people's lives and communities.

3 BACKGROUND AND MAIN CONSIDERATIONS

The applications determined under delegated powers are set out in the Appendix.

4 STRATEGIC RESOURCE IMPLICATIONS

There are no implications in terms of the Council's strategic resources.

5 LEGAL AND GOVERNANCE CONSIDERATIONS

The Director – Regeneration and Growth has taken decisions in accordance with powers delegated under Part 3 (Appendix 5) of the Council's Constitution.

Amy Harhoff
Director – Regeneration and Growth

SANDWELL METROPOLITAN BOROUGH COUNCIL
PLANNING COMMITTEE

Applications determined under delegated powers by the Director – Regeneration and Growth since your last Committee Meeting

REPORT FOR INFORMATION PURPOSES ONLY

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/18/62149 Tipton Green	Tipton Labour Club 21 Victoria Road Tipton DY4 8SN	Demolition of existing building and proposed 9 No. apartments.	Grant Permission Subject to Conditions 21st November 2019
DC/19/62954 Cradley Heath & Old Hill	Telecommunication Mast B0097 131 Station Road Cradley Heath	Proposed replacement of the existing 15m monopole with a 20m lattice tower to support 6 no. aperture (each aperture capable of accommodating 2 no. antenna each - 12 total), 9 no. cabinets and development ancillary thereto.	Refuse permission 13th November 2019
DOC/19/00083 Soho & Victoria	Shireland Collegiate Academy Waterloo Road Smethwick B66 4ND	Discharge of conditions 4, 5, 8 and 10 of planning permission DC/18/61654.	Discharged
DOC/19/00092 Oldbury	Park Lane Works Seven Stars Road Oldbury B69 4JR	Discharge of conditions 3a, 4a, 11a, 12 and 17a of planning permission DC/18/62516.	Discharged 4th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63200 Soho & Victoria	Land At Corner Of Suffrage Street/Park Retreat Smethwick	Amendment to previously approved application (DC/09/51695 - for 18 No. apartments) to create an additional 2 No. apartments (resulting in a total of 10 No. apartments within a revised site area).	Grant Permission Subject to Conditions 25th October 2019
DC/19/63268 Blackheath	The Limes 37 Avenue Road Rowley Regis B65 0LP	Proposed single-storey rear extension and change of use from residential care home (Class C2) to 5 No. apartments (3no studio flats, and 2no one bedroom flats) (Class C3) with associated parking.	Grant Permission Subject to Conditions 13th November 2019
DC/19/63269 Hateley Heath	The Rampa 114 Vicarage Road West Bromwich B71 1AF	Proposed change of use from public house to 13 No. apartments, first floor side and rear extension, loft conversion with dormers to rear, and associated parking and amenity space.	Grant Permission Subject to Conditions 7th November 2019
DC/19/63280 Princes End	West Mercia Sections Limited Nicholls Road Tipton DY4 9LG	Demolition of single storey office area and proposed new extension to link the two existing factory units.	Grant Permission Subject to Conditions 15th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63325 West Bromwich Central	Dartmouth House Sandwell Road West Bromwich	Proposed ground floor extension.	Grant Permission with external materials 29th October 2019
DC/19/63369 Princes End	12 Laurel Road Tipton DY4 9QX	Proposed erection of rear garden self-contained annexe.	Grant Permission Subject to Conditions 4th November 2019
DC/19/63344 Greets Green & Lyng	Site Of Former Garage Kelvin Way West Bromwich	Retention of vehicle recycling.	Grant Permission Subject to Conditions 12th November 2019
DC/19/6639A Oldbury	3 Church Street Oldbury B69 3AD	Proposed 1 No internally illuminated fascia sign & 1 No internally illuminated projecting sign.	Grant Conditional Advertisement Consent 8th November 2019
DC/19/63351 Tipton Green	1A Wood Street Tipton DY4 9BQ	Proposed conversion of existing house into 3 No. apartments and existing garage into 4. No apartments with external alterations.	Withdrawn 15th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63353 Hateley Heath	Salisbury House Lily Street West Bromwich B71 1QD	Proposed single storey front/side extension, three storey side extension , and single/two storey rear extension with external alterations to provide 7 No. additional flats.	Grant Permission Subject to Conditions 25th October 2019
DC/19/63361 Smethwick	1 Cemetery Road Smethwick B67 6BB	Proposed first floor side and rear extension.	Grant Permission with external materials 21st November 2019
DC/19/63371 Wednesbury South	Site Of 18 To 19A Holden Road Wednesbury	Proposed erection 5 No. 2 bed apartments.	Grant Permission Subject to Conditions 6th November 2019
DC/19/63387 Soho & Victoria	81 Grange Road Smethwick B66 4NG	Proposed change of use from 1 No. residential dwelling to 2 No. self contained flats.	Grant Permission 11th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63391 Greets Green & Lyng	Site Of Former Garage Kelvin Way West Bromwich	Variation of condition 1 of planning permission DC/18/62499 (The development must conform with the terms of and the plans accompanying the application for permission and must remain in conformity with such terms and plans, save as may be otherwise required by (any of) the following condition(s), or approved amendment(s), to utilise existing dropped kerb on Kelvin Way and amend site layout.	Grant Permission Subject to Conditions 21st November 2019
DC/19/63396 Langley	42 Kestrel Road Oldbury B68 8AS	Retention of single storey side extension.	Grant Retrospective Permission 4th November 2019
DC/19/63401 Langley	102 Pool Lane Oldbury B69 4QS	Proposed single storey side extension.	Grant Permission with external materials 20th November 2019
DC/19/63405 Blackheath	5 Manson Drive Cradley Heath B64 6SD	Proposed single storey rear extension.	Grant Permission with external materials 8th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63411 Oldbury	147 Dudley Road East Tivdale Oldbury B69 3DT	Retention of two storey rear extension, and hip to gable roof extension with rear dormer windows.	Grant Permission with external materials 25th October 2019
DC/19/6643A Abbey	515 Hagley Road Smethwick B66 4AX	Retention of internally- illuminated ATM fascia surround signage.	Grant Advertisement Consent 7th November 2019
DC/19/63418 Old Warley	57 Broadway Oldbury B68 9DP	Proposed single storey rear extension and two storey side/front extension with front porch.	Refuse permission 28th October 2019
DC/19/63433 Soho & Victoria	17 Barrett Street Smethwick B66 4SE	Proposed single storey rear extension.	Refuse permission 4th November 2019
DC/19/63437 Princes End	Land Adj 1 Parkes Lane Tipton DY4 9JG	Proposed 6 No. semi- detached houses with garages and associated works.	Grant Permission Subject to Conditions 15th November 2019
DC/19/6645A St Pauls	Former Chances Glassworks Palace Drive Smethwick B66 1NZ	Proposed temporary externally-illuminated scaffold PVC mesh wrap signage.	Withdrawn 30th October 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63445 Tividale	7 Spencer Close Tividale Oldbury B69 1NG	Proposed two storey side extension (Revised application DC/17/61318).	Grant Permission with external materials 14th November 2019
DC/19/63451 Tipton Green	Unit 16 Coneygre Industrial Estate Tipton DY4 8XP	Proposed permission to allow vehicles to vehicle waste transfer operations within part of the yard of the existing PHS Besafe premises.	Grant Permission 11th November 2019
DC/19/63452 Blackheath	Land To The Rear 1- 29 Sean Dolan Close Rowley Regis	Proposed residential development comprising 4 No. 2 bedroom flats & 5 No. 3 bedroom houses.	Refuse permission 6th November 2019
DC/19/63464 Smethwick	127 Sabell Road Smethwick B67 7PJ	Proposed single storey rear extension and extension to front bay window.	Grant Permission with external materials 8th November 2019
DC/19/63459 Great Bridge	1 Highfield Road Ocker Hill Tipton DY4 0RB	Proposed detached garage.	Grant Permission with external materials 5th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63461 Blackheath	34 Alwin Road Rowley Regis B65 8BN	Proposed front porch and hardstanding driveway area.	Grant Permission with external materials 25th October 2019
DC/19/63474 Old Warley	9 Hawthorn Croft Oldbury B68 0DP	Proposed first floor side extension.	Grant Permission with external materials 7th November 2019
DC/19/63480 Smethwick	203 Hales Lane Smethwick B67 6QY	Proposed single storey front and side extension.	Grant Permission with external materials 30th October 2019
DC/19/63481 Oldbury	207 Temple Way Tividale Oldbury B69 3LT	Proposed single storey side and rear extension.	Grant Permission with external materials 5th November 2019
PD/19/01278 Langley	46 Sycamore Road Oldbury B69 4TD	Proposed single storey rear extension measuring: 6.0m L x 4.0m H (3.0m to eaves)	P D Householder not required 31st October 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63483 Old Warley	Perryfields High School Maths And Computing College And Sixth Form Oldacre Road Oldbury B68 0RG	Proposed erection of a two storey pre-fabricated modular classroom building.	Withdrawn 7th November 2019
DC/19/63486 Soho & Victoria	430 And 432 High Street Smethwick B66 3PJ	Proposed two storey rear extension and renovation of building to create two retail units, 1 No. 1 bedroom apartment, 4 No. studio apartments and 2 No. 2 bedroom apartments.	Grant Permission with external materials 25th October 2019
DC/19/63488 Langley	1 The Lenches Shelsley Avenue Oldbury B69 1BF	Proposed 1.4m high brick wall with pillars and metal gates.	Grant Permission with external materials 12th November 2019
DC/19/63490 Abbey	71 Wigorn Road Smethwick B67 5HG	Proposed single storey side extension and two storey rear extension.	Grant Permission Subject to Conditions 4th November 2019
DC/19/63494 St Pauls	34 Heather Road Smethwick B67 7LW	Proposed first floor side extension.	Grant Permission with external materials 7th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63495 Tividale	16 Wakeman Drive Tividale Oldbury B69 1NQ	Proposed single storey front and rear extensions.	Grant Permission with external materials 25th October 2019
DC/19/63500 Langley	42 Pound Road Oldbury B68 8LY	Proposed first floor side extension.	Grant Permission with external materials 28th October 2019
DC/19/63501 Abbey	4 Sydney Road Smethwick B67 5QQ	Proposed external lift and garden wall to front of property.	Grant Permission Subject to Conditions 29th October 2019
DC/19/63502 Greets Green & Lyng	70 Phoenix Street West Bromwich B70 0AA	Single and two storey rear extension (amendment to previous application DC/19/62930).	Grant Permission with external materials 28th October 2019
DC/19/63505 Smethwick	49 Auckland Road Smethwick B67 7AU	Proposed single storey side/rear extensions and front porch.	Grant Permission with external materials 29th October 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63506 Charlemont With Grove Vale	22 Arlington Road West Bromwich B71 1AD	Proposed single storey side and rear extension.	Grant Permission with external materials 30th October 2019
DC/19/63507 Blackheath	37 Greenwood Avenue Rowley Regis B65 9NH	Proposed single storey side and rear extension.	Grant Permission with external materials 31st October 2019
DC/19/63508 Smethwick	16 Hales Crescent Smethwick B67 6QU	Proposed external lift to front of property.	Grant Permission Subject to Conditions 29th October 2019
DC/19/63512 Great Bridge	2 Napier Drive Tipton DY4 7NW	Proposed erection of 1.82m fence at side of property.	Grant Permission 29th October 2019
DC/19/63515 Tividale	4 Regent Road Oldbury B69 1TL	Proposed two storey side/rear extensions and single storey rear extension.	Grant Permission with external materials 4th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63524 Great Bridge	175 Great Bridge Street West Bromwich B70 0DJ	Proposed change of use from retail (Class A1) to car repairs (Class B2).	Grant Permission Subject to Conditions 18th November 2019
DC/19/63525 Wednesbury South	51, 51A, 52 And 52A Leabrook Road Wednesbury WS10 7NW	Proposed variation of condition 12 of planning permission DC/13/56054 (Proposed construction of 4 No. two bedroom bungalows) to retain a 1.8m close boarded fence along the road frontage.	Grant Retrospective Permission 28th October 2019
DC/19/63526 Bristnall	111 Hurst Road Smethwick B67 6LY	Proposed single storey side/rear extension.	Grant Permission with external materials 20th November 2019
DC/19/63527 Newton	87 Walcot Drive Great Barr Birmingham B43 5TH	Proposed single storey rear extension.	Grant Permission with external materials 4th November 2019
DC/19/63528 Abbey	Unit 2 Turner House Beakes Road Smethwick B67 5RS	Proposed change of use to dog grooming and training services - Revision to opening hours of planning approval DC/19/63057.	Grant Permission Subject to Conditions 28th October 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63531 Soho & Victoria	The Abrahamic Foundation Unit 5 Grove Street Smethwick B66 2QS	Proposed variation of condition 2 of planning permission DC/17/60914 (continued use of building at first and second floors as prayer hall and community centre and formation of ground floor car park) to allow a further two year temporary use of the first and second floor as prayer/community centre with associated parking.	Refuse permission 8th November 2019
DC/19/63532 St Pauls	25 Fenton Street Smethwick B66 1HR	Proposed single storey rear extension.	Grant Permission with external materials 4th November 2019
DC/19/63533 Princes End	17 Julie Croft Bilston WV14 8YT	Proposed two storey side and single storey rear extensions.	Grant Permission with external materials 4th November 2019
DC/19/63534 Charlemont With Grove Vale	88 Pear Tree Road Great Barr Birmingham B43 6JA	Proposed first floor rear extension and single storey front/side/rear extensions (revision of previously approved DC/19/62573).	Grant Permission with external materials 28th October 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/6652A West Bromwich Central	46-47 Queens Square West Bromwich B70 7NJ	Proposed internally illuminated flex face light box fascia sign.	Grant Advertisement Consent 13th November 2019
DC/19/63538 Old Warley	8 Sunnybank Road Oldbury B68 0DD	Proposed single storey front and rear extension.	Grant Permission with external materials 11th November 2019
DC/19/63543 Greets Green & Lyng	31 Dawes Avenue West Bromwich B70 7LR	Retention of ground floor store (rear garden).	Grant Conditional Retrospective Consent 12th November 2019
DC/19/63548 Wednesbury South	2 Francis Ward Close West Bromwich B71 2PZ	Proposed single storey front and side extension and outbuilding to rear.	Grant Permission with external materials 11th November 2019
DC/19/63549 Soho & Victoria	105 Windmill Lane Smethwick B66 3EW	Proposed replacement of 6 No. antennas with 6 No. antennas, 6 No. RR US', 1 No. GPS module, internal upgrade of the existing equipment room and ancillary development.	Grant Permission 4th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63544 Langley	109 Grafton Road Oldbury B68 8BJ	Proposed first floor rear extension.	Grant Permission with external materials
DC/19/63550 St Pauls	32 Doulton Drive Smethwick B66 1RA	Proposed change of use from dwelling (use class C3(a)) to residential institution (use class C2).	Grant Permission Subject to Conditions 7th November 2019
DC/19/63556 Soho & Victoria	Vodafone Telecommunication Mast 6055 Hadley Stadium Waterloo Road Smethwick	Proposed upgrade of existing telecoms base station, removal of existing 20m monopole and 3 No. antennas, installation of 19.1m monopole with 6 No. antennas and 6 No. RPUs, GPS module; internal upgrade of existing cabin and ancillary development.	Grant Permission 4th November 2019
DC/19/63562	A34 Sprint Route Walsall Road Great Barr	Request for a screening opinion in respect of an Environmental Impact Assessment (EIA) for the proposed A34 sprint route.	Screening opinion - EIA not required 20th November 2019
DC/19/6653A West Bromwich Central	Tesco 46 New Square West Bromwich B70 7PR	Proposed 1 No. 42" illuminated LCD media screen and 3 No. 1250mm x 700mm non-illuminated flag pole signs.	Grant Advertisement Consent 6th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/19/01289 Tipton Green	9 Tudor Street Tipton DY4 8UT	Proposed single storey rear extension measuring: 6.0m L x 3.0m H (2.7m to eaves)	P D Householder not required 4th November 2019
DC/19/63552 Smethwick	5 Lee Gardens Smethwick B67 7HP	Proposed outbuilding in rear garden.	Grant Permission with external materials 13th November 2019
DC/19/63553 Old Warley	67 Birch Road Oldbury B68 0EP	Proposed single storey rear extension and new pitched roof to existing garage.	Grant Permission with external materials 6th November 2019
PD/19/01290 Hateley Heath	9 Glastonbury Road West Bromwich B71 2LL	Proposed single storey rear extension measuring: 4.0m L x 4.0m H (2.7m to eaves)	P D Householder not required 12th November 2019
PD/19/01292 Old Warley	128 Apsley Road Oldbury B68 0QU	Proposed single storey rear extension measuring: 4.5m L x 3.85m H (2.515m to eaves)	P D Householder not required 4th November 2019
PD/19/01293 Oldbury	35 Dudley Road West Tividale Oldbury B69 2HW	Proposed single storey rear extension measuring: 6.0m L x 4.0m H (3.0m to eaves)	P D Householder not required 29th October 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63565 Blackheath	7 Siviters Close Rowley Regis B65 8DR	Proposed single storey front and side extension.	Grant Permission with external materials 15th November 2019
DC/19/63566 St Pauls	24 Basons Lane Oldbury B68 9SH	Proposed single storey rear extension.	Grant Permission with external materials 15th November 2019
DC/19/63567 Great Bridge	Oak House Johns Lane Tipton DY4 7PS	Proposed fencing to side and rear perimeter including 4 No. access gates.	Grant Permission 14th November 2019
DC/19/63569 Soho & Victoria	Telecommunications Masts 53099 473 Dudley Road Smethwick	Proposed removal of 3 No. existing antennas and support poles, 3 No. existing cabinets and install 12 No. new antenna apertures on new support poles, 3 No. 600mm transmission dishes and 7 No. new cabinets and associated ancillary works.	Grant Permission 19th November 2019
DC/19/63573 Old Warley	636 Hagley Road West Oldbury B68 0BS	Proposed two storey side extension, first floor side extension and single storey rear extension (Revised application - DC/19/63227).	Grant Permission with external materials 15th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63576 St Pauls	Portakabin Limited 2 Potterton Way Smethwick B66 1AT	Proposed demolition of existing two storey office building and replace with a new two storey office building with associated car parking and additional vehicle entrance.	Grant Permission Subject to Conditions 19th November 2019
DC/19/63578 Bristnall	18 Goode Close Oldbury B68 9NT	Proposed single storey side and rear extension.	Grant Permission with external materials 14th November 2019
DC/19/6654A West Bromwich Central	Unit 3 Astle Park West Bromwich B70 8NS	Proposed 1 No. internally illuminated sign, 2 No. internally illuminated projecting signs and 1 No. non illuminated sign to shop frontage.	Grant Advertisement Consent 20th November 2019
DOC/19/00145 Soho & Victoria	Sandwell MBC Former Public Car Park Crocketts Lane Smethwick	Discharge of condition 3a of planning permission DC/19/62884.	Grant Permission 7th November 2019
PD/19/01294 St Pauls	21 Vernon Road Oldbury B68 8SE	Proposed single storey rear extension measuring: 5.0m L x 3.0m H (2.70m to eaves)	P D Householder not required 29th October 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63579 Charlemont With Grove Vale	16 Boscobel Road Great Barr Birmingham B43 6BB	Proposed demolition of porch, part garage, side veranda and utility and erection of single storey front and two storey side and rear extensions.	Grant Permission with external materials 20th November 2019
DC/19/63582 Cradley Heath & Old Hill	48 Church Street Cradley Heath B64 6DS	Proposed single storey rear extension.	Grant Permission with external materials
DC/19/63585 Charlemont With Grove Vale	135 Newton Road Great Barr Birmingham B43 6BE	Proposed erection of a single storey side extension to create gym/games room.	Grant Permission with external materials 21st November 2019
PD/19/01298 Blackheath	8 Fairbourne Avenue Rowley Regis B65 9JR	Proposed single storey rear extension measuring: 5.0m L x 3.4m H (2.7m to eaves)	P D Householder not required 31st October 2019
PD/19/01299 Newton	6 Johns Grove Great Barr Birmingham B43 5DR	Proposed single storey rear conservatory measuring: 4.0m L x 4.0m H (3.0m to eaves)	P D Householder not required 4th November 2019


Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63586 Rowley	27 St Giles Close Rowley Regis B65 9EL	Proposed erection of detached garage to the front of the property.	Grant Permission Subject to Conditions 20th November 2019
DC/19/63588 Rowley	172 Throne Road Rowley Regis B65 9LD	Proposed canopy to front and single storey rear extension.	Withdrawn 13th November 2019
PD/19/01301 Abbey	175 Sandon Road Smethwick B66 4DH	Proposed change of use from shop (Class A1) to mexican restaurant/cafe (Class A3).	P D Shop to Cafe Required and Granted 13th November 2019
PD/19/01302 Wednesbury North	59 Barlow Road Wednesbury WS10 9QB	Proposed single storey rear extension measuring: 6m L x 3.64m H (2.25m to eaves)	P D Householder not required 8th November 2019
DC/19/63591 Smethwick	66 Hales Lane Smethwick B67 6RS	Proposed single and two storey rear extension.	Grant Permission with external materials 21st November 2019
DC/19/63599 Greets Green & Lyng	141 Spon Lane West Bromwich B70 6AS	Proposed single storey extension at rear of retail fish and chip shop to create 1 No. two bedroom flat.	Grant Permission with external materials 21st November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/19/63592 West Bromwich Central	58 St Clements Lane West Bromwich B71 4EU	Proposed metal sheet cladding to external elevations.	Withdrawn 20th November 2019
PD/19/01304 Blackheath	37 Perry Park Road Rowley Regis B65 0BS	Proposed single storey rear extension measuring: 4.638m x 3.8m L (2.6m to eaves)	P D Householder not required 15th November 2019
PD/19/01306 Newton	112 Waddington Avenue Great Barr Birmingham B43 5JE	Proposed single storey rear extension measuring 4.0m L x 3.396m H (2.78m to eaves)	P D Householder not required 14th November 2019
PD/19/01307 Charlemont With Grove Vale	43 Ingestre Drive Great Barr Birmingham B43 6QW	Proposed single storey rear extension measuring: 5.0m L x 3.0m H (3.0m to eaves)	P D Householder required and refused 11th November 2019
PD/19/01310 Great Bridge	104 Cophall Street Tipton DY4 7JQ	Proposed single storey rear extension measuring: 3.38m L x 3.20m H (2.87m to eaves)	P D Householder required and granted 18th November 2019
PD/19/01312 Wednesbury South	102 Hydes Road Wednesbury WS10 0DF	Proposed single storey rear extension measuring: 2.8m L x 2.6m H (2.6m to eaves)	P D Householder required and granted 14th November 2019

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/19/01315 Wednesbury South	21 Waterside Avenue Wednesbury WS10 0DS	Proposed single storey rear extension measuring 5.0m L x 3.4m H (2.6m to the eaves)	P D Householder not required 14th November 2019
PD/19/01314 Greets Green & Lyng	13 Ellison Street West Bromwich B70 7ES	Proposed single storey rear extension measuring 6.0m L x 4.0m H (2.6m at the eaves)	P D Householder required and granted 14th November 2019
PD/19/01317 Charlemont With Grove Vale	38 Esher Road West Bromwich B71 1QR	Proposed single storey rear extension measuring 5.0m L x 4.0m H (2.7m at the eaves)	P D Householder not required 12th November 2019
DC/19/63668 Newton	49 Highfield Road Great Barr Birmingham B43 5AW	Proposed single storey rear extension and dormer window to the rear (Lawful Development Certificate).	Grant Lawful Use Certificate
PD/19/01323 Langley	26 Harrold Road Rowley Regis B65 0RN	Proposed rear conservatory measuring: 4.0m L x 3.0m H (2.1m to eaves)	P D Householder not required 19th November 2019
PD/19/01325 Tipton Green	Groundwork Environment Centre Dolton Way Tipton DY4 9AL	Proposed demolition of steel portal frame offices and 2 No. buildings at rear.	Grant Demolition Consent 12th November 2019

Planning Committee

4 December, 2019

Subject:	Decisions of the Planning Inspectorate
Director:	Director – Regeneration and Growth Amy Harhoff
Contribution towards Vision 2030:	
Contact Officer(s):	<p>John Baker Service Manager - Development Planning and Building Consultancy John_baker@sandwell.gov.uk</p> <p>Alison Bishop Development Planning Manager Alison_bishop@sandwell.gov.uk</p>

DECISION RECOMMENDATIONS

That Planning Committee:

Notes the decisions of the Planning Inspectorate as detailed in the attached appendices.

1 PURPOSE OF THE REPORT

This report is submitted to inform the Committee of the outcomes of appeals that have been made to the Planning Inspectorate by applicants who were unhappy with the Committee's decision on their application.

2 IMPLICATIONS FOR SANDWELL'S VISION 2030

The planning process contributes to the following ambitions of the Vision 2030 –

Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.

Ambition 8 - Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.

Ambition 10 - Sandwell now has a national reputation for getting things done, where all local partners are focused on what really matters in people’s lives and communities.

3 BACKGROUND AND MAIN CONSIDERATIONS

- 3.1 Applicants who disagree with the local authority’s decision on their planning application may submit an appeal to the Planning Inspectorate. An appeal may also be made where the local authority has failed to determine the application within the statutory timeframe.
- 3.2 Appeals must be submitted within six months of the date of the local authority’s decision notice.
- 3.3 Decisions on the following appeals are reported, with further detailed set out in the attached decision notices:-

Application Ref	Site Address	Inspectorate
DC/19/62966	Rear Of 30 Horseley Heath Tipton DY4 7PA	Dismissed
DC/19/6633A	Primesight Advert Hoardings 043101 To 6 And Pole	Dismissed

4 STRATEGIC RESOURCE IMPLICATIONS

- 4.1 There are no direct implications in terms of the Council's strategic resources.
- 4.2 If the Planning Inspectorate overturns the Committee's decision and grants consent, the Council may be required to pay the costs of such an appeal, for which there is no designated budget.

5 LEGAL AND GOVERNANCE CONSIDERATIONS

- 5.1 The Planning Committee has delegated powers to determine planning applications within current Council policy.
- 5.2 Section 78 of the Town and Country Planning Act 1990 gives applicants a right to appeal when they disagree with the local authority's decision on their application, or where the local authority has failed to determine the application within the statutory timeframe.

Amy Harhoff
Director – Regeneration and Growth



Appeal Decision

Site visit made on 17 September 2019

by Robert Hitchcock BSc DipCD MRTPI

an Inspector appointed by the Secretary of State

Decision date: 4th November 2019

Appeal Ref: APP/G4620/W/19/3230868
Rear of 30 Horseley Heath, Tipton DY4 7PA

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr P Browning against the decision of Sandwell Metropolitan Borough Council.
 - The application Ref DC/19/62966, dated 28 March 2019, was refused by notice dated 21 May 2019.
 - The development proposed is a bungalow.
-

Decision

1. The appeal is dismissed.

Main Issues

2. The main issues in this appeal are the effects of the development on the character and appearance of the locality and on the living conditions of neighbouring residents with regard to outlook and light.

Reasons

Character and appearance

3. The site is part of the rear garden of 30 Horseley Heath, a corner semi-detached dwelling fronting on to a local main distributor road. The garden is set behind a screen wall and landscaping strip along the north-eastern side of Dovecote Close. The close forms part of an enclosed modern estate characterised by similarly proportioned and detailed two-storey detached and semi-detached properties set within a series of open fronted culs-de-sac. The dwellings consistently have gabled roofs with small pike features and mid-height projecting canopies. The majority have forward projecting bays at ground floor and show similar materials throughout but with variation in colour finishes. Parking is provided through a mix of forecourt provision and both integral and detached garages with corresponding pitched roofs.
4. The scale of the dwelling would have little relationship to either no 30 or the more modern units of Dovecote Close. The site layout would result in the tight siting of the bungalow to three of the plot boundaries and habitable room windows set close behind the existing boundary wall. This, in conjunction with an uncharacteristic low pitching roof, would expose the plot constraints and appear as a cramped form of development. The arrangement would neither reflect the local vernacular scale, the typical relationships between primary accommodation and their ancillary buildings within the area, or, the open-fronted aspect of Dovecote Close on to which the development would front.

5. The development would therefore fail to integrate with the local character and scale of development and subsequently appear incongruous in the locality. This would conflict with the requirements of policy ENV3 of the Black Country Core Strategy and policy SAD EOS 9 of the Sandwell MBC Site Allocations and Delivery Development Plan Document which, overall, seek to ensure a high quality of design that reflects the distinctive character of the local area.

Living conditions

6. The proposed building would lie southwest of the nearest residential property at 33 Dovecote Close at a distance of about 0.8 metres from the common boundary. No.33 has a conservatory to the rear that currently benefits from direct sunlight, particularly during afternoon and evening hours, although some shadowing from the existing boundary fence will occur in later evening hours.
7. The siting and scale of the proposed development would cause additional overshadowing of the conservatory and parts of the garden area beyond it. As the ground floor accommodation of no.33 substantially relies on daylight via the conservatory the effect would be marked, particularly in the cooler months. This would give rise to a significant adverse effect on the existing living conditions of occupiers of that property.
8. With respect to outlook, the upper brickwork of the rear elevation and eaves line would be visible above the boundary fence for a distance of about 5 metres behind the line of the conservatory. Whilst the development would be visible, the offset distance combined with the moderate height of the eaves and roof pitching away from the common boundary, would not substantially impose on, or dominate, the main rearward outlook of the conservatory. It would not therefore cause harm to the living conditions of neighbouring occupiers through creation of poor outlook.
9. Notwithstanding the conclusion with regard to outlook, the development would result in an adverse impact on the living conditions of neighbouring occupiers through loss of sunlight and overshadowing and therefore conflict with paragraph 127 of the National Planning Policy Framework which seeks to secure high standards of amenity for existing residents.

Other matters

10. It is suggested that a comparable size of building could be erected under permitted development rights. However, I have seen nothing to suggest that if this were possible, the appellant would genuinely pursue this option if the appeal failed. As such, it is a matter of negligible weight in the determination of this appeal.

Conclusion

11. For the above reasons the appeal is dismissed.

R Hitchcock

INSPECTOR



Appeal Decision

Site visit made on 4 November 2019 by AJ Sutton BA Hons DipTP DMS MRTPI

by R C Kirby BA Hons DipTP MRTPI

an Inspector appointed by the Secretary of State

Decision date: 21 November 2019

Appeal Ref: APP/G4620/Z/19/3236886

Land at Wolverhampton Road, Oldbury, B68 0NP

- The appeal is made under Regulation 17 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 against a refusal to grant express consent.
 - The appeal is made by Insite Poster Properties Ltd against the decision of Sandwell Metropolitan Borough Council.
 - The application Ref DC/19/6633A, dated 17 June 2019, was refused by notice dated 8 August 2019.
 - The advertisement proposed is described as 'Replacement of an existing 48-sheet advertisement display with an illuminated 48-sheet digital advertisement display and removal of 1 No existing 48-sheet advertisement display'.
-

Decision

1. The appeal is dismissed.

Appeal Procedure

2. The site visit was undertaken by an Appeal Planning Officer whose recommendation is set out below and to which the Inspector has had regard before deciding the appeal.

Main Issue

3. The main issue is the effect of the proposed advertisement on public safety.

Reasons for Recommendations

4. The appeal site is located on a strip of land adjacent to the A4123 (Wolverhampton Road), close to the busy intersection with the A456. The intersection is controlled by traffic signals. The site currently hosts six 48-sheet non-digital advertisements and is on the cusp of a predominantly residential area merging to development more commercial in nature. There is one digital advert display in situ, which faces south east and can be viewed when approaching up the hill to the traffic signals northwards on the A4123. There is also a prominent, large non-digital changing paper-based image advertisement situated close to the crossroads.
5. The proposal is for the replacement of an existing non digital 48-sheet advertisement display with an illuminated 48-sheet digital advertisement display with a new static image materialising every 10 seconds; the interchange of which would be virtually instantaneous. The proposed advertisement would be set back from the position of the existing

- advertisement. One additional existing 48-sheet advertisement display would also be removed.
6. The Regulations state factors relevant to the assessment of public safety include the safety of persons using any highway¹. The Planning Practice Guidance provides details regarding types of advertisements which may cause a danger to road users, highlighting externally or internally illuminated signs (incorporating either flashing or static lights) which because of their size or brightness could ... distract road-users, particularly in misty or wet weather, or those which are subject to frequent changes of the display².
 7. The proposal would be located close to a public highway which has a significant flow of traffic and where drivers require focussed attention to safely navigate the changing and complex road layout. The proposed orientation of the advertisement would make it noticeable predominantly to motorists travelling in a southerly direction on the A4123. The advertisement would become visible to motorists where the carriageway is straight, just beyond the traffic signs and on the approach to the bend towards the junction.
 8. Whilst it is noted that advertisements are intended to attract attention, proposed advertisements at points where drivers need to take more care are more likely to affect public safety, for example, at junctions³. Although there is clear signage well in advance to guide motorist regarding the correct lane choice, with good visibility of the bend and vehicles decelerating on the approach to the traffic signals, this is a major junction with the added unpredictability of traffic crossing the carriageway. Particular focus is required by motorists close to the bend to ensure they observe the 'Keep Clear' area marked on the carriageway where vehicles are permitted to cross the road in both directions, and they select the correct lane for the three different potential routes.
 9. The proposal would differ materially from the existing advertisement in the locality and would introduce changing advertisement material. Although there is no clear evidence that the presence of advertisements in the vicinity of the new advertisement have contributed to traffic accidents nearby, the cluster of minor incidents recorded in and around the 'Keep Clear' area, close to the site, suggests that an increased level of attention is required by motorists in this area to avoid incidents. The introduction of a changing advertisement in this location would be likely to catch the attention of motorists at a time when they should be concentrating on the local highway conditions. This distraction would be likely to increase the risk of accidents at this busy junction of Wolverhampton Road with Hagley Road.
 10. I therefore conclude that, due to the nature of this junction and the siting of the proposal, that the proposed advertisement would have an unacceptable effect on public safety. Whilst the majority of incidents recorded to date in the locality are of a minor nature, this does not provide a justification for the siting of an advertisements which could contribute to further accidents.
 11. The imposition of planning conditions proposed would not address the identified harm to public safety.

¹ Town & Country Planning (Control of Advertisement) (England) Regulations 2007 3(2)b

² Planning Practice Guidance Paragraph: 068 Reference ID: 18b-068-20140306 (d) iii & iv

³ Planning Practice Guidance Paragraph: 067 Reference ID: 18b-067-20140306

Conclusion and Recommendation

12. For the reasons outlined above, and having regard to all other matters raised, it is recommended that the appeal should be dismissed.

A J Sutton

APPEAL PLANNING OFFICER

Inspector's Decision

13. I have considered all the submitted evidence and concur that the appeal should be dismissed.

R C Kirby

INSPECTOR